

**APPROVED PLAN**

**MASTER SIGN PROGRAM**

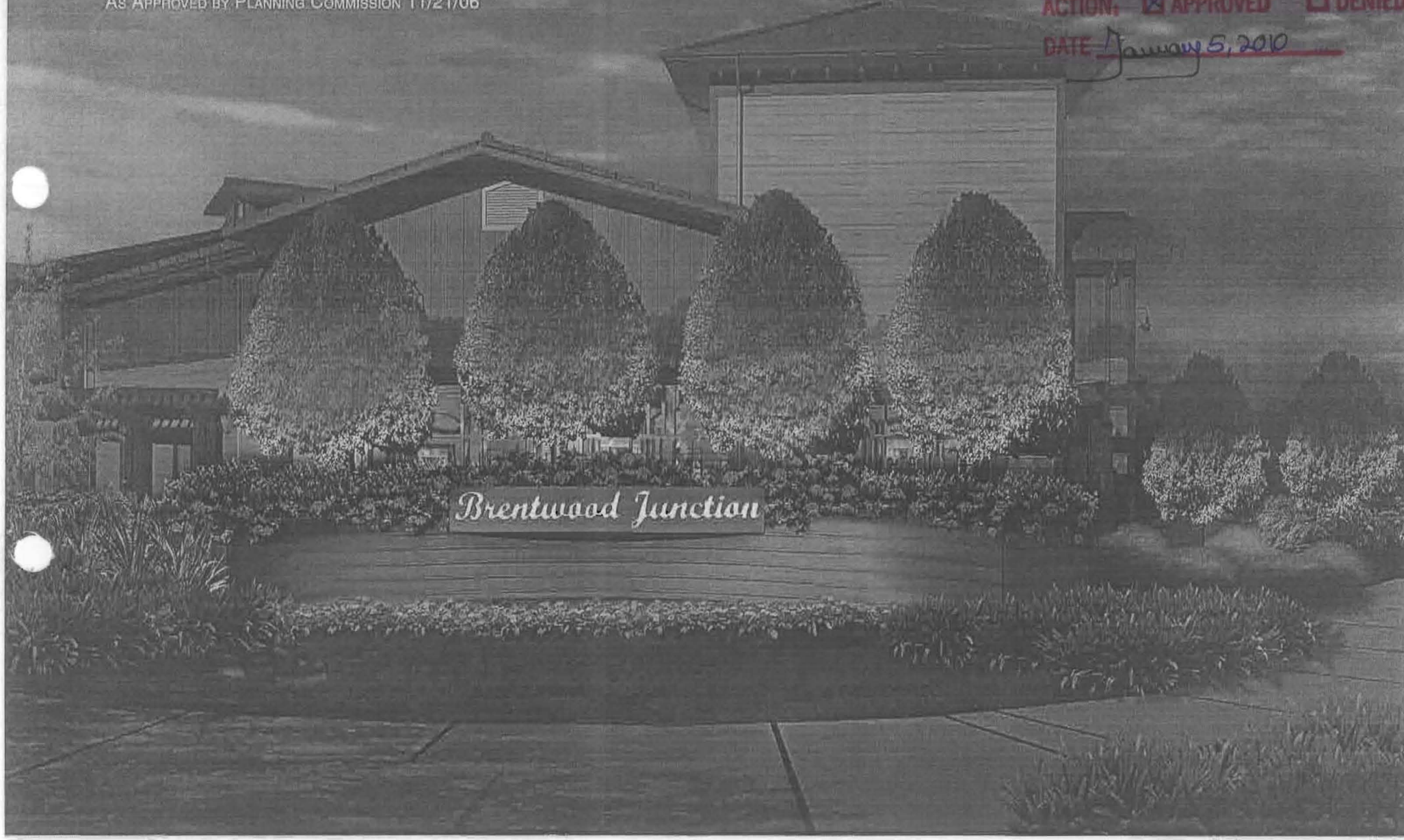
As APPROVED BY PLANNING COMMISSION 11/21/06

PERMIT NO. CUP 05-27-A2

RESOLUTION NO. 10-002

ACTION:  APPROVED  DENIED

DATE January 5, 2010



# Brentwood Junction

## Master Sign Program

**FILE COPY**

**DO NOT REMOVE**

**As Approved by  
Planning Commission  
on 11/21/06**

**FILE # \_\_\_\_\_**

Empire and Lone Tree Way  
Brentwood, CA

November 21, 2006



**BLAIR SIGN  
PROGRAMS**

Scott Blair  
2735 Via Orange Way  
Studio 105  
Spring Valley, CA. 91978

Phone: 619-660-9168  
Fax: 619-660-9866  
e-mail: blair@blairsign.net

Calif. License #877503

**RECEIVED**

NOV 21 2006

CITY OF BRENTWOOD  
COMMUNITY DEVELOPMENT DEPT

# BRENTWOOD JUNCTION

## Master Sign Program

### I. Introduction

This Master Sign Program has been established to provide a professional sign and graphics program for *Brentwood Junction* that is mutually beneficial for the City of Brentwood, the *Brentwood Junction* tenants and the public that is served by the center. In support of this objective the following qualities were blended into the design and scope of work presented by this document:

*Creation and display of project identification*

*Designs congruent with project architecture and colors*

*Materials in harmony with the design intentions*

*Quality workmanship and materials*

This program is divided into two major sections. The first section describes the project common signs. The common signs serve to identify the project and selected tenants within the project. The common signs consist of one corner identity display and two entry monuments.

The second section of this document is the tenant sign criteria. This section will define the project tenants by type and specify the individual tenant signs allowed. The tenant signs will consist of internally illuminated channel letters and incidental signs. Selected tenants, designated by the Landlord, will be allowed to display their name on the entry monument signs and/or the corner identity display. Exhibits are included for the readers' reference and use.

This document will ensure that the signage for *Brentwood Junction* clearly identifies each of the tenants and provides a sustainable sign criteria for use by the City of Brentwood, the tenants and the property owner.

## COMMON SIGNS

## II. Common Signs

### A. Corner Identify Display: Sign type A

#### 1. Purpose

To create, in conjunction with the landscaping on the corner of Lone Tree Way and Empire, an identity display for the project.

#### 2. Description

The display is constructed as a raised, curved concrete planter designed to mimic an old fashioned fruit "crate". The concrete walls are finished to look like wood slats and colored to match the buildings. Inside the planter are four ornamental pear trees with uplighting to make the entire display a "sculptural" element on the corner, particularly at night.

The project identity (Brentwood Junction) panel will feature a convex shaped concealed cabinet with internal illumination. The identity lettering will be route-out and push-through with white text illumination while the background panel remains opaque. The cabinet and panel will be fabricated with aluminum and powder-coat finishes. The attachment system will be stainless steel and concealed.

The decorative trellis element (on top of the concrete planter wall) will be an assembly of powder coated aluminum square rods in assorted sizes of ½", 1" and 1-½". The trellis will be anchored into the concrete footing in a concealed manner.

#### 3. Quantity

One (1) as shown in exhibits section of this document.

#### 4. Landscaping

Landscaping is an integral part of the corner display as the landscaping itself is highlighted. The trellis element of the display weaves the organic material around the signage

#### 5. Exhibits

Please see the exhibits at the end of this section of the document.

## **B.1/B.2 Entry Monument Displays: Signs type B.1 and B.2**

### *1. Purpose*

To identify the Project and selected tenants at the main entries.

### *2. Description*

The entry Monuments are to be double-sided displays and composed in two sections. The first section features a decorative trellis element that will be an assembly of powder coated, square aluminum rods in assorted sizes of ½", 1" and 1-½". The trellis will be anchored into the concrete footing with concealed bolt plates. The square rods are configured in a random pattern to create a natural trellis look.

The second section is the active Display Area. The identity panel will feature route-out and push-through white illuminated lettering "Brentwood Junction" while the background panel remains opaque. The tenant panels are to be route-out and show-through construction with copy and/or graphics illuminated from concealed light sources.

The entire body, internal structure and panels will be fabricated aluminum and finished with acrylic enamel paint as shown in the exhibits section of this document.

### *3. Constraints*

- a. Size is 8' tall x 10' wide (80 sq.ft.).
- b. The display panel shall include identity panel (Brentwood Junction) and room for 4 tenant name panels. One (1) for either the Anchor or Major tenant and three (3) for standard tenants. Only the Anchor or Major tenant shall be in the top panel which is 2x the height of the standard tenant panels below it.

### *4. Quantity*

Two (2) as shown in exhibits section of this document (B.1 and B.2).

### *5. Landscaping/Set-Backs*

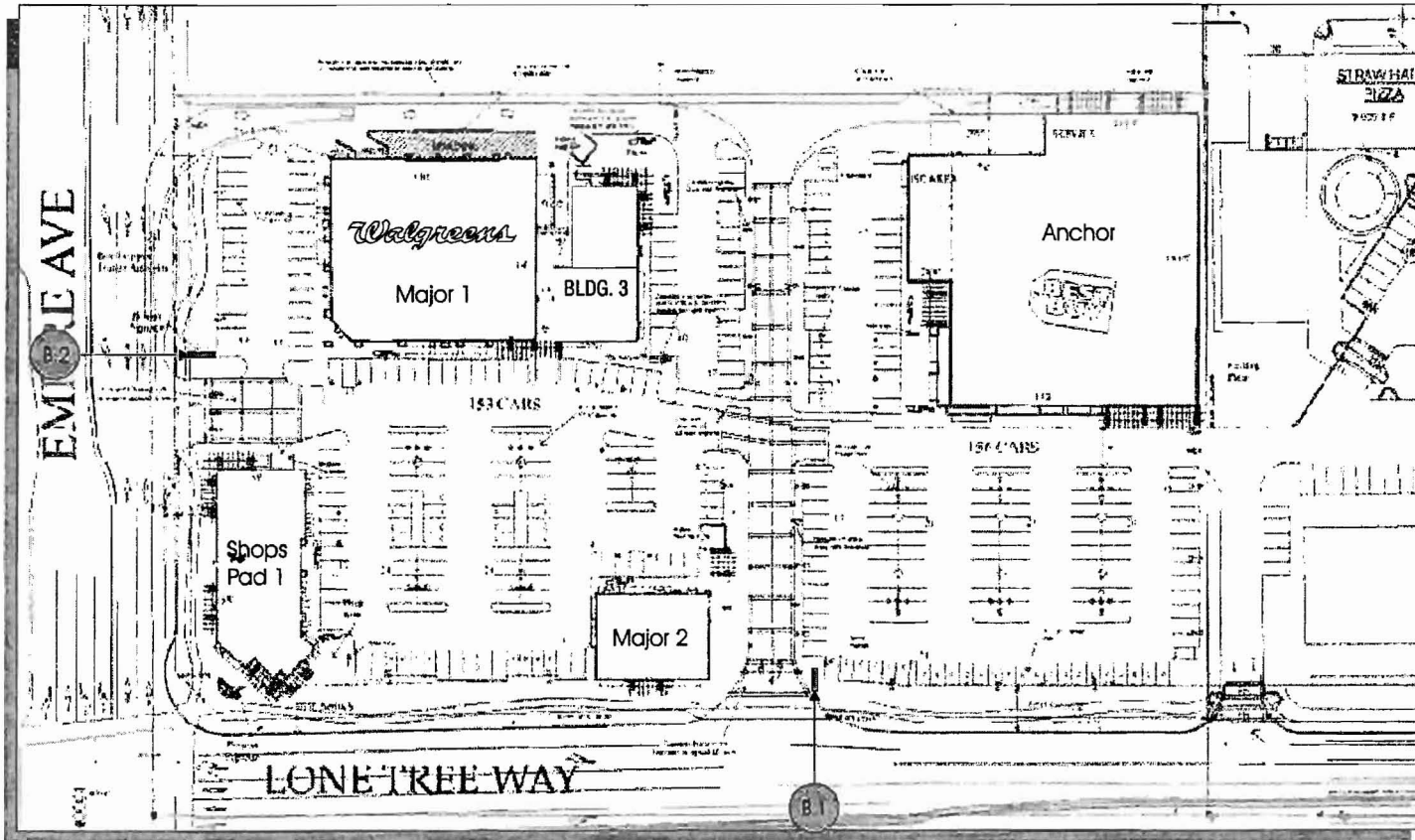
The landscaping plan is by others. Please see site plan in this section for locations.

### *6. Eligible tenants*

To be selected by the Landlord. A tenant may only appear on one of the monument signs (but on both sides).

### *7. Exhibits*

Please see the exhibits at the end of this section of the document.



**Common Signs Site Index**

B.1 - Entry Monument

B.2 - Entry Monument



**BLAIR SIGN PROGRAMS**

2735 Via Orange Way  
 Studio 105  
 Spring Valley, CA. 91078  
 Phone: 619-660-6165  
 Fax: 619-660-9899  
 e-mail: blair@blairsign.net  
 Calif. License 4677503

*Brentwood Junction*

**CLIENT**  
 Brentwood Junction

**PROJECT**  
 Brentwood Junction

**ADDRESS**  
 Empire & Lone Tree Way  
 Brentwood, CA

**DATE** BY  
 05/25/06 Oscar Lemus

**REVISIONS**

A: 06/12/06	09/19/06
B: 06/13/06	10/02/06
C: 06/20/06	11/02/06
D: 09/11/06	11/28/06
E: 09/14/06	11/30/06
	12/13/06

The colors printed on this document may vary from the colors specified.  
 It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

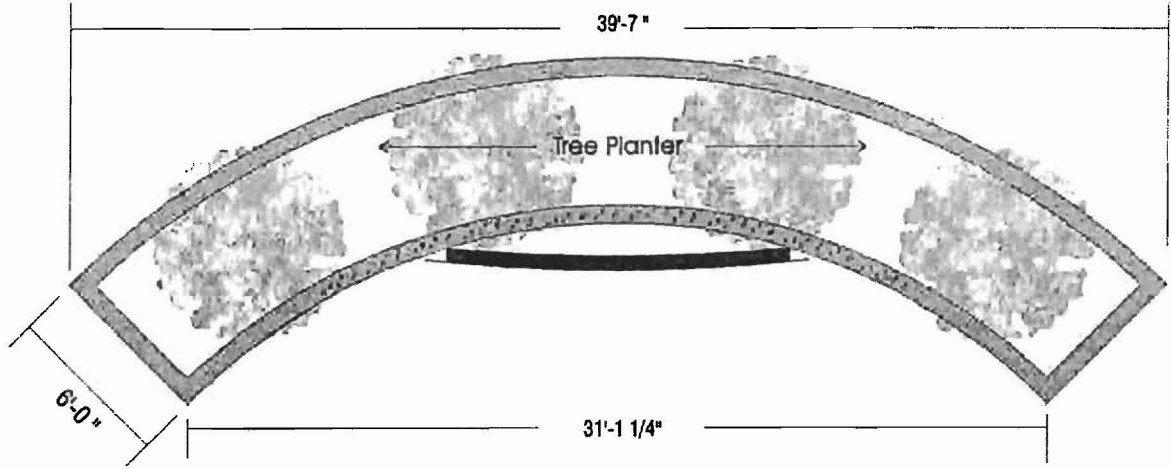
Site Plan

**APPROVALS:**  
 BY CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.

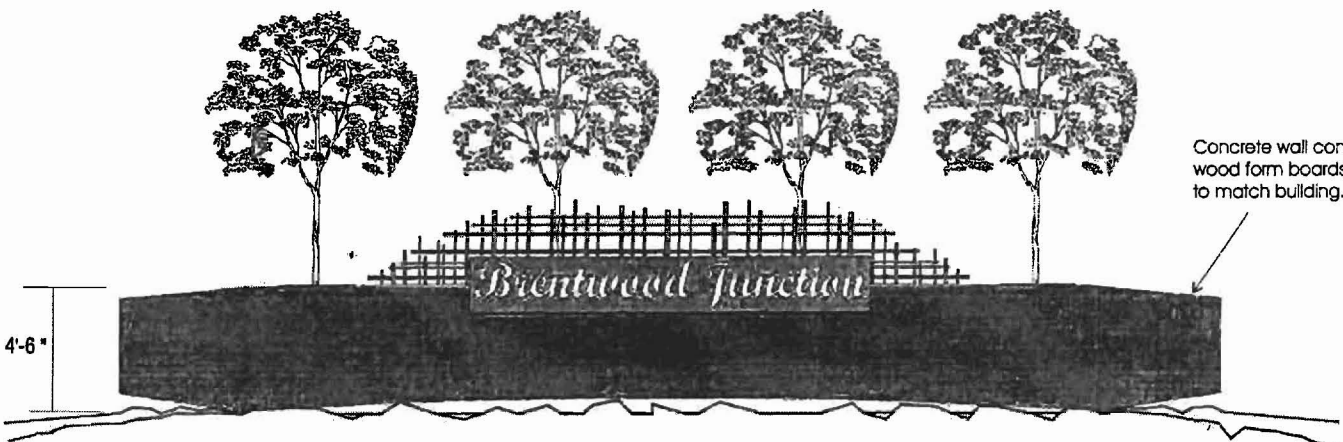




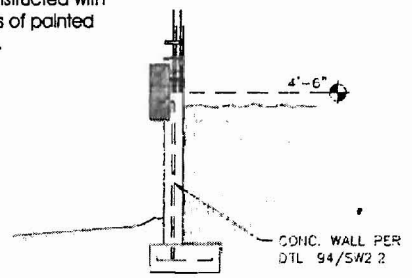
Description:  
 The ID panel will be .125 aluminum plate with a concealed and internally illuminated cabinet fabricated with .090 aluminum. The lettering will be route-out and push-through. The decorative trellis element will be an assembly of powder coated aluminum rods in assorted sizes of 1/4"1" and 1- 1/2". The trellis will be anchored into the concrete footing with concealed inserts.



**BLAIR SIGN PROGRAMS**  
 2736 Via Orange Way  
 Orange, CA 92666  
 Phone: 619-800-4105  
 Fax: 619-800-4105  
 e-mail: bsp@blairsign.com  
 Calif. License #677903



Concrete wall constructed with wood form boards of painted to match building.



A. Corner Identification Display

3/16" = 1'

*Brentwood Junction*

CLIENT  
 PROJECT  
 Brentwood Junction  
 ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA  
 DATE BY  
 08/30/06 Oscar Lemus

REVISIONS  
 A: 09/11/06  
 B: 09/14/06  
 C: 09/19/06  
 D: 10/02/06  
 E:

The colors printed on this document may vary from the colors specified.  
 It is important to note that the finished colors may vary from the specified colors, color chips and/or print-outs provided for this project.

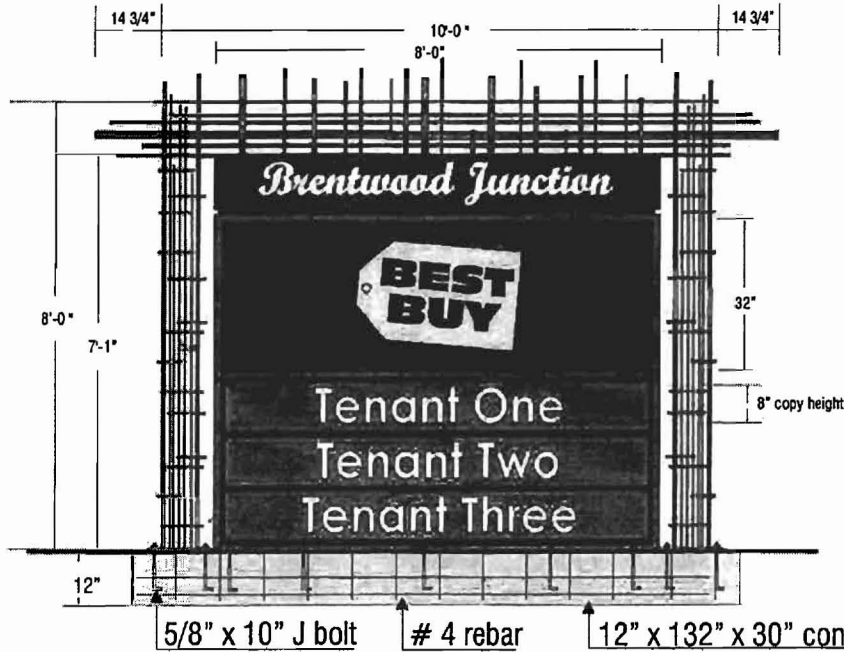
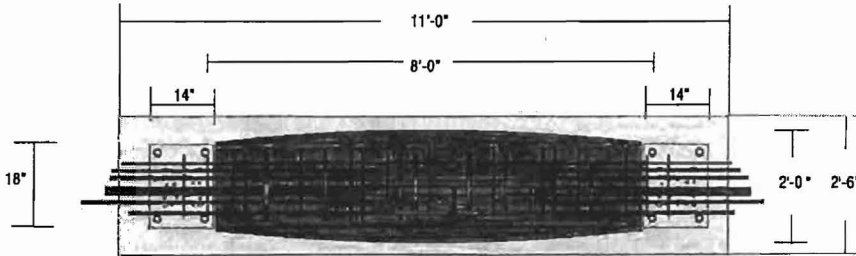
Sheet #1

APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

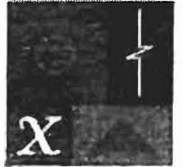
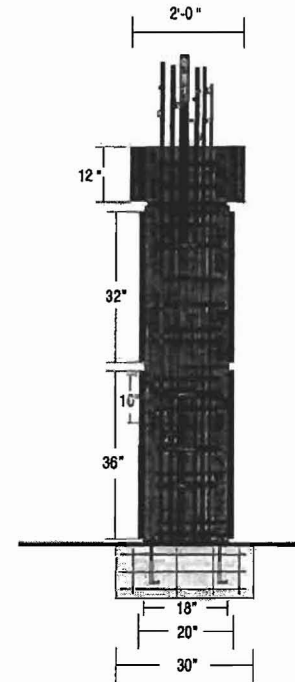
© Copyright 2006, by Blair Sign Programs. These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.







**Description:**  
 The decorative trellis element that will be an assembly of powder coated aluminum rods in assorted diameters composed of 1/2", 1" and 1-1/2" diameters. The trellis will be anchored into the concrete footing with concealed bolt plates.  
 The identity panels are route-out and push-through lettering.  
 The tenant panels are to be route-out and show-through construction with copy and/or graphic illumination.  
 The entire body, internal structure and panels will be fabricated aluminum and finished with acrylic enamel paint as per the color schedule in this document.



**BLAIR SIGN PROGRAMS**

2735 Via Orange Way  
 Studio 105  
 Spring Valley, CA. 91978  
 Phone: 619-680-9168  
 Fax: 619-680-9888  
 e-mail: bls@blairsign.com  
 Calif. License #077503

*Brentwood Junction*

CLIENT

PROJECT  
 Brentwood Junction

ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA

DATE BY  
 08/30/06 Oscar Lemus

REVISIONS	
A: 09/11/06	11/28/06
B: 09/14/06	11/30/06
C: 09/19/06	12/04/06
D: 10/02/06	12/13/06
E: 11/02/06	

The colors printed on this document may vary from the colors specified.  
 It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

Sheet #1

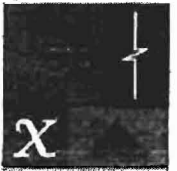


B.1 Monument Display V.1

Scale 3/8" = 1'

APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs. These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.



**BLAIR SIGN PROGRAMS**

2729 Via Grange Way  
Studio 103  
Spring Valley, CA 91978

Phone: 619-490-6166  
Fax: 619-490-9093  
e-mail: blair@blairsigns.net  
Call. License #877503

*Brentwood Junction*

CLIENT

PROJECT  
Brentwood Junction

ADDRESS  
Empire & Lone Tree Way  
Brentwood, CA

DATE BY  
08/30/06 Oscar Lemus

REVISIONS	
A: 09/11/06	11/28/06
B: 09/14/06	11/30/06
C: 09/19/06	12/04/06
D: 10/02/06	12/13/06
E: 11/02/06	

The colors printed on this document may vary from the colors specified.  
It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

Sheet #2



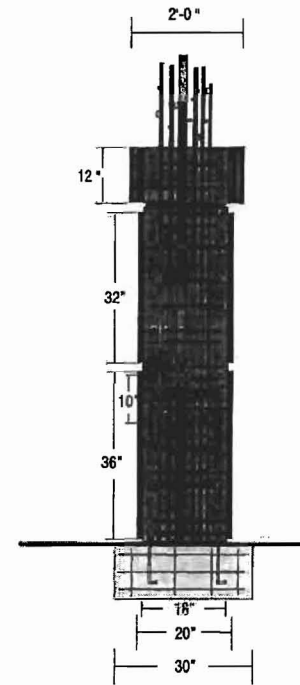
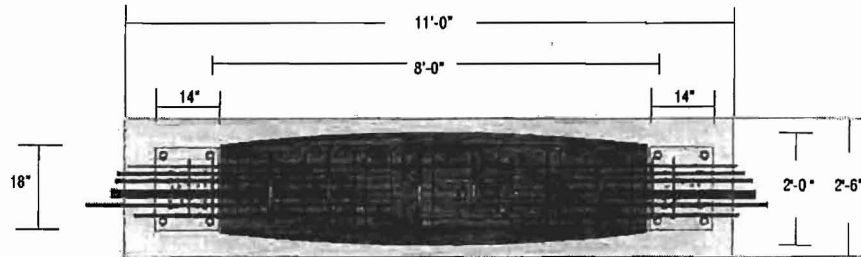
**Description:**

The decorative trellis element that will be an assembly of powder coated aluminum rods in assorted diameters composed of 1/2", 1" and 1-1/4" diameters. The trellis will be anchored into the concrete footing with concealed bolt plates.

The identity panels are route-out and push-through lettering.

The tenant panels are to be route-out and show-through construction with copy and/or graphic illumination.

The entire body, internal structure and panels will be fabricated aluminum and finished with acrylic enamel paint as per the color schedule in this document.

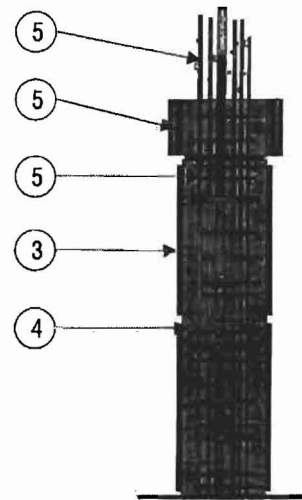
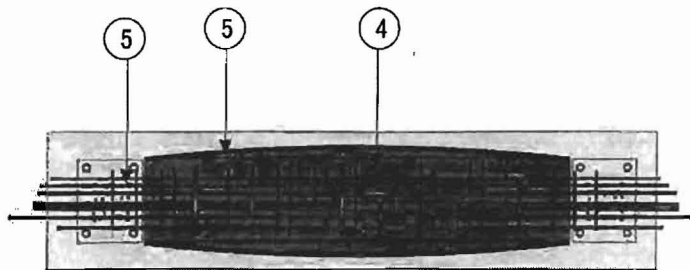


B.2 Monument Display V.1






Scale 3/8" = 1'

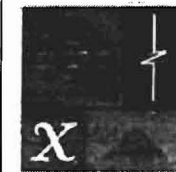
APPROVALS:  
BY CLIENT: \_\_\_\_\_  
BY LANDLORD: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs. These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.



Color schedule

-  1. 3M White 230-20
-  2. Benjamin Moore Mountain Hideaway, 1154
-  3. Dunn Edward Rodeo DEA 163
-  4. Benjamin Moore Cappuccino Mofin, 1155
-  5. Med. Bronze



**BLAIR SIGN PROGRAMS**

7735 Via Orange Way  
 Studio 105  
 Spring Valley, CA. 91978  
 Phone: 619-660-9186  
 Fax: 619-660-9886  
 e-mail: bls@blairsign.net  
 Calif. License #877603

*Brentwood Junction*

CLIENT

PROJECT  
 Brentwood Junction

ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA

DATE BY  
 08/30/06 Oscar Lemus

REVISIONS

A: 09/11/06	11/28/06
B: 09/14/06	11/30/06
C: 09/19/06	12/04/06
D: 10/02/06	12/13/06
E: 11/02/06	

The colors printed on this document may vary from the colors specified.  
 It is important to note that the finished colors may vary from the specified colors, color chips and/or paintouts provided for this project.

Color schedule

APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs. These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.



# TENANT SIGN CRITERIA

### III. Tenant Sign Criteria

#### A. Anchor Tenants

*Tenants occupying 25,000 square feet, or more, shall be defined as an "Anchor Tenant". Anchor tenants shall be allowed up to two (2) separate wall signs. Wall sign may be text only or text and logo or text within a logo and the letters shall be reverse channel letters (halo lighted).*

*Anchor tenant may display its identity on one of the two monument signs.*

1.

The Anchor Tenant wall signs are to be individual, internally illuminated channel letters and/or illuminated logo box with or without background panel. Anchor tenants may use their company logo/graphic layouts and colors.

2.

**The area of each wall sign shall be no more than the area calculated by the formula of 60% of the frontage length (to which the display is installed) X 36".** A six-inch (6") space must be maintained between the display area and any significant architectural element such as fascia columns or change of finish materials unless otherwise approved by the Landlord. Actual positioning of sign shall be determined by tenant's design.

The maximum height for letters shall not exceed 36", and the length of text shall not exceed 60% of the sign's façade frontage length. With shorter letters a tenant may have a wall sign of multiple lines of text so long as the total area does not exceed the formula above. A text/logo box may be any size so long as the area does not exceed the formula above and the lettering within does not exceed 36" high.

3.

Letters shall be 5" deep with dark bronze returns.

4.

Refer to the exhibits section of this document for example layouts and locations.

#### B. Major Tenants

*Tenants occupying an entire building (other than an anchor) shall be defined as a "Major Tenant". Major tenants shall be allowed to display up to two (2) separate wall signs. Wall sign may be text only or text and logo or text within a logo. Letters shall be either face lighted or halo lighted.*

*Major tenant may display its identity on one of the two monument signs.*

1.

The Major Tenant wall signs are to be individual, internally illuminated channel letters and/or illuminated logo box with or without a background panel. Major tenants may use their company logo/graphic layouts and colors

2.

**The area of each wall sign shall be no more than the area calculated by the formula of 60% of the frontage length (to which the display is installed) X 36".** A six-inch (6") space must be maintained between the display area and any significant architectural element such as fascia columns or change of finish materials unless otherwise approved by the Landlord. Actual positioning of sign shall be determined by tenant's design.

The maximum height for individual channel letters shall not exceed 36", and the length of text shall not exceed 60% of the sign's façade frontage length. With shorter letters a tenant may have a wall sign of multiple lines of text so long as the total area does not exceed the formula above. A text/logo box may be larger than 36" high so long as the area does not exceed the formula above and the lettering within it does not exceed 36" high.

3.

Refer to the exhibits section of this document for example layouts and locations.

### C. Standard Tenants

*Tenants that co-occupy a building shall be defined as a "Standard Tenant". Standard tenants shall be allowed up to two (2) separate wall signs. One sign shall be located over the tenant's entry door and the second sign may be located on another façade, either side or rear. Individual letters may be face lighted or halo lighted. Standard Tenant may display its identity on one of the two monument signs.*

1.

The Standard Tenant wall signs are to be individual, internally illuminated channel letters and/or illuminated logo box .

2.

**The area of each wall sign shall be no more than the area calculated by the formula of 60% of the frontage length (to which the display is installed) X 24".** A six-inch (6") space must be maintained between the display area and any significant architectural element such as fascia columns or change of finish materials unless otherwise approved by the Landlord.

The maximum height for individual channel letters shall not exceed 24", and the length of text shall not exceed 60% of the sign's façade frontage length. With shorter letters a tenant may have a wall sign of multiple lines of text so long as the total area does not exceed the formula above. A text/logo box may be larger than 24" high so long as the area does not exceed the formula above and the letters do not exceed 24" high.

3.

Letters shall be 5" deep with dark bronze returns.

4.

Refer to the exhibits section for example layouts and locations.

### D. Designs/Submittals

1.

Each tenant must hire a sign company to prepare artwork to include scaled schematic drawings, specifications and color drawings. Material and/or paint samples may be required.

2.

Submittals shall be made to the Landlord for approval, and after receiving approval of same, the applicant shall then submit to City of Brentwood for a sign permit in accordance with City sign codes and this Sign Program. Work started without approvals will be considered non-conforming and subject to removal.

3.

Each tenant will submit to the Landlord four (4) copies of detailed drawings indicating the locations, size, colors, layouts, design, and construction and installation methods.

4.

Each tenant is responsible to determine City requirements for permit submittal and pay all applicable fees.

### E. Incidental Tenant Signage

1.

Tenant address numerals are to be fabricated and installed on the primary entrance door using 3" high (maximum) medium Helvetica numerals. The material shall be Scotchcal, matte white, 220/225-20.

Entry door signs shall be limited to the display of the tenant hours of operation (not including address numerals describe above) and no more than three (3) credit card decals. See exhibits section for example.

2.

Rear entry signs shall be uppercase medium Helvetica style numerals and letters. The copy is limited to the tenant name and address numerals only. Copy height shall be 3" inches, and centered horizontally from top of each door with 2" space between address numbers and Tenant name and located 5' from grade. The material shall be Scotchcal, matte white, 220/225-20. See exhibits section for example.

3.

Window signs shall not be permitted.

**F. Temporary Banners**

*It is intended that temporary banner signs will advertise a tenant's "Grand Opening" only. All such signs must be reviewed and approved by the Landlord and the City of Brentwood.*

1.

Temporary banners must be professionally designed and fabricated from durable and weatherproof materials. The maximum area for any temporary banner is 30 sq.ft.

2.

The method of attachment for temporary banners must not puncture or damage any building fascia, roof or structure. Temporary banners may not be attached to a tree, roof or fence.

3.

Each tenant is allowed only one temporary banner that may be displayed for no more than 14 calendar days.

**IV. General Conditions**

**A. Prohibited Signs**

1.  
Conformance to the guidelines for signs at Brentwood Junction will be strictly enforced. Any non-conforming or unapproved signs are strictly forbidden,
2.  
Tenant shall not place, construct, or maintain on the premises any advertisement media, including, without limitation, searchlights, flashing lights, loudspeakers, sound systems, or any other similar visual or audio media. Tenant shall not solicit business in, on, or about the project identity areas, or distribute handbills or other advertising or promotional media in, on, or about the project identity areas.
3.  
Any sign or tenant name on a parked vehicle parked for a duration of time, that in the Landlord's sole judgment, indicates its use for the purpose of advertising a particular Tenant, service or product is prohibited.
4.  
Signs that are movable or transportable or placed in vehicular or pedestrian traffic areas are prohibited, including "A" frame signs or signs with exterior raceways (on face of buildings).
5.  
Window signs are prohibited, permanent or temporary.

**B. Electrical and Illumination**

*The following section outlines the acceptable scope of work, quality standards and materials for Brentwood Junction.*

1.  
All fabrication and installation shall comply with all Underwriter's Laboratories requirements and specific state and local codes. All components shall bare the U.L. label indicating approval and installed by licensed contractors.
2.  
All conductors, transformers, ballasts and other equipment shall be concealed.
3.  
Electric service to all Tenant building signs shall be placed on the Tenant's electric service. Tenants are required to provide time clocks on all signs.
4.  
The illumination of all sign components shall be uniform in intensity over all of the illuminated surfaces. No noticeable spots or shadows will be allowed.
5.  
Illumination and electric specifications must appear on all shop drawings.



**C. Construction**

1.  
All manufacturers are advised that prior to final acceptance, an authorized representative of the Landlord may inspect each unit for conformance. Any signs, before or after installation, found to be non-conforming will be rejected and removed immediately by the Tenant or Tenant's contractor.
  
2.  
Shop drawings are required prior to start of any work detailing all specifications and methods of construction and must be approved by the Landlord.
  
3.  
No manufacturer or sign company decals may be visibly displayed.

**D. Installation/Removals**

1.  
All penetrations of any building structure required for sign installation shall be neatly sealed and continuously maintained in watertight condition.
  
2.  
All contractors performing installation, removal or service must be fully licensed and provide the Landlord with certificates of insurance prior to commencing any work.

3.  
All methods of attachment to any structure must be detailed on shop drawings and be approved by the Landlord and the City of Brentwood.
  
4.  
Sign removals shall include the patching and repairing of entire work areas plus the repainting of any "ghosted" areas or as directed by the Landlord. Tenant shall reimburse the Landlord if the Landlord or its agent does removal and/or repair.

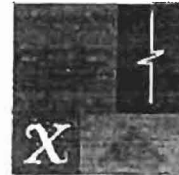
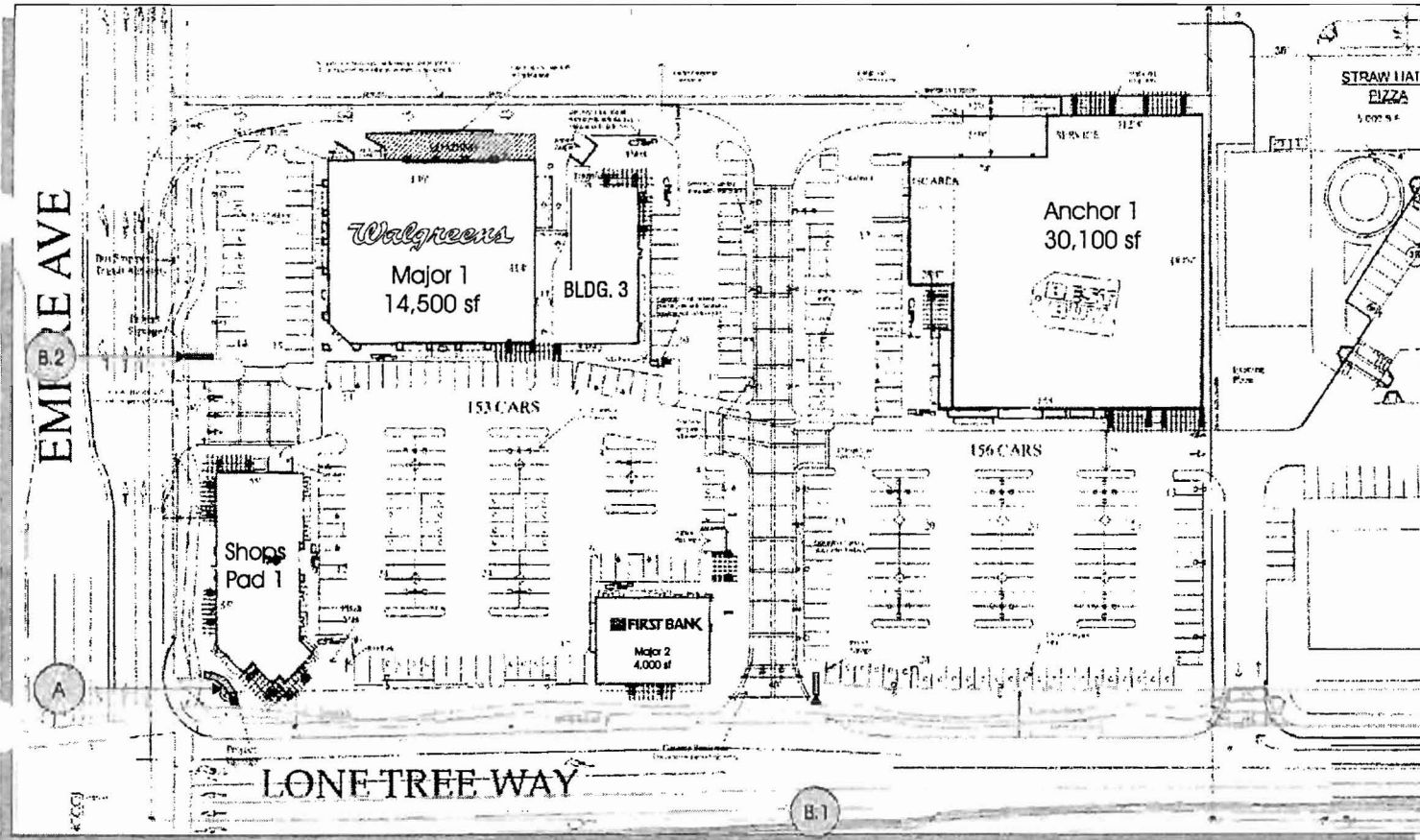
**E. Maintenance**

Tenant shall be responsible for the maintenance of tenant signage. Should the tenants' sign or signs require repair or maintenance the tenant is required to perform such action within five (5) days of written notice from the Landlord, or the Landlord at its option, may bill the tenant for such work as required.

**F. Exceptions**

Exceptions to this Program must be submitted to Landlord in advance for consideration. Landlord reserves the right to make specific exceptions that it deems will enhance the quality of the project and that are in keeping with the purpose and intent of this document. Requests for exceptions that are denied approval by the Landlord may be resubmitted for consideration after a period of six months from date of notification of denial. All requests for exceptions shall be submitted to the City of Brentwood Planning Department for approval.

Tenant Buildings  
Site Plan



**BLAIR SIGN PROGRAMS**

2235 Via Orange Way  
Studio 105  
Spring Valley, CA 91778

Phone: 916-602-9160  
Fax: 916-602-9399  
e-mail: [blair@blairsign.net](mailto:blair@blairsign.net)  
CNSL License #6777-03

*Brentwood Junction*

CLIENT

PROJECT  
Brentwood Junction

ADDRESS  
Empire & Lone Tree Way  
Brentwood, CA

DATE BY  
10/04/05 Justin O'Gara

REVISIONS  
A: 11/05/05 OL  
B: 01/04/06 JO  
C:  
D:  
E:

The colors printed on this document may vary from the colors specified.  
It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

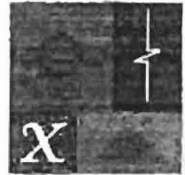
Tenant Site Index

APPROVALS:  
BY CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_  
BY LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

© Copyright 2004, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.





**BLAIR SIGN PROGRAMS**

2755 Vin Orange Way  
Ste 100  
Spring Valley, CA. 91578  
Phone: 916-961-5100  
Fax: 916-280-9360  
e-mail: blsig@blairsign.net  
Calif. License 6671608

*Brentwood Junction*

CLIENT

PROJECT  
Brentwood Junction

ADDRESS  
Empire & Lone Tree Way  
Brentwood, CA

DATE BY  
10/04/05 Justin O'Gara

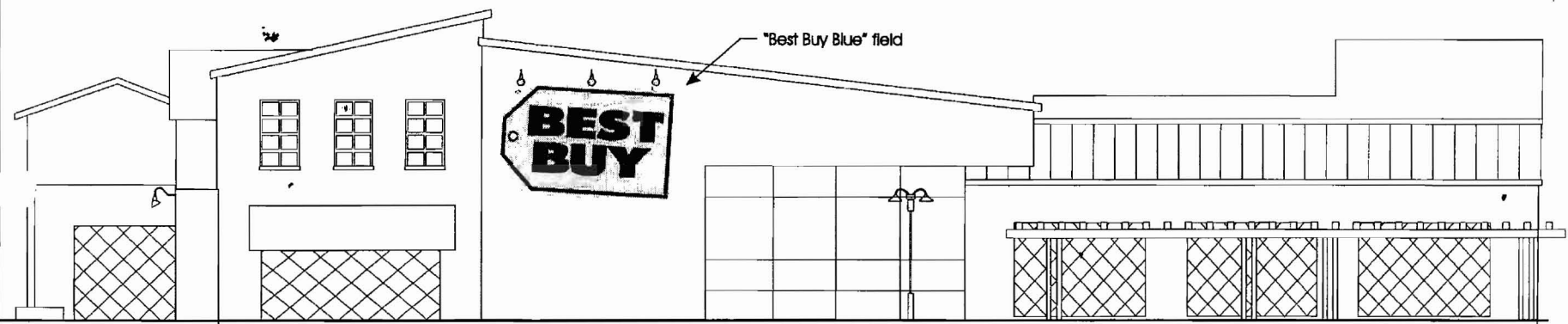
- REVISIONS
- A: 12/06/05 JO
  - B: 12/08/05 JO
  - C: 12/12/05 TC
  - D: 12/28/05 JO
  - E: 01/04/06 JO

The colors printed on this document may vary from the colors specified.  
It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

Sheet 1



Allowed area = 284.4 sq. Ft.  
Actual area = 179.4 sq.ft.



Anchor 1 - South Elevation

**ANCHOR 1**

APPROVALS:

BY CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_

BY LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.





**BLAIR SIGN PROGRAMS**

2725 Via Corona Way  
Box 156  
Spring Valley, CA 94575  
Phone: 916-653-9158  
Fax: 916-643-8865  
e-mail: hls@blairsign.net  
Calif. License #677805

*Brentwood Junction*

**CLIENT**

**PROJECT**  
Brentwood Junction

**ADDRESS**  
Empire & Lone Tree Way  
Brentwood, CA

**DATE** BY  
10/04/05 Justin O'Gara

**REVISIONS**  
A: 12/06/05 JO  
B: 12/08/05 JO  
C: 12/12/05 TC  
D: 12/28/05 JO  
E: 01/04/06 JO

The colors printed on this document may vary from the colors specified.

It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

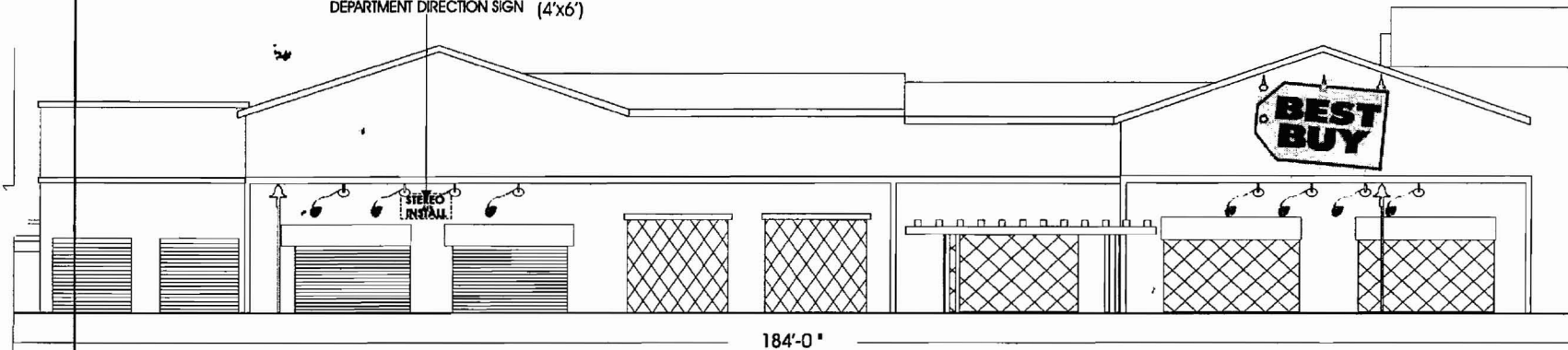
Sheet 2



Not To Scale

Allowed area = 331 sq. Ft.  
Actual area = 147.3 sq.ft.  
(Includes directional sign)

DEPARTMENT DIRECTION SIGN (4'x6')



184'-0"

Anchor 1 - West Elevation

**ANCHOR 1**

**APPROVALS:**

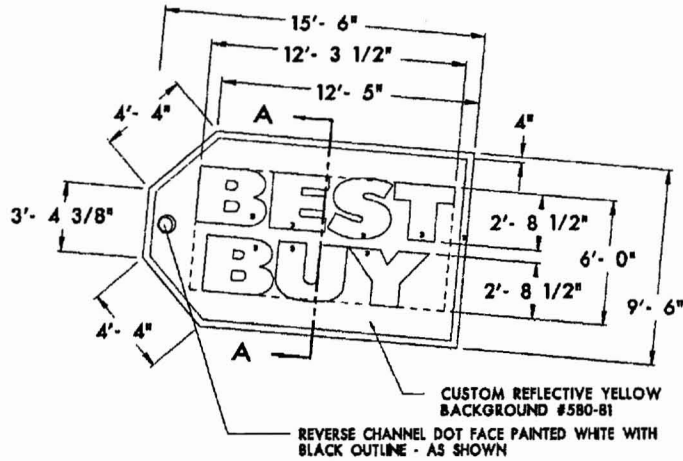
BY CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_  
BY LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

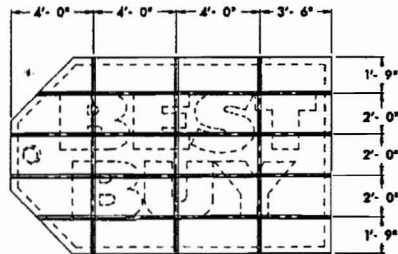
These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.



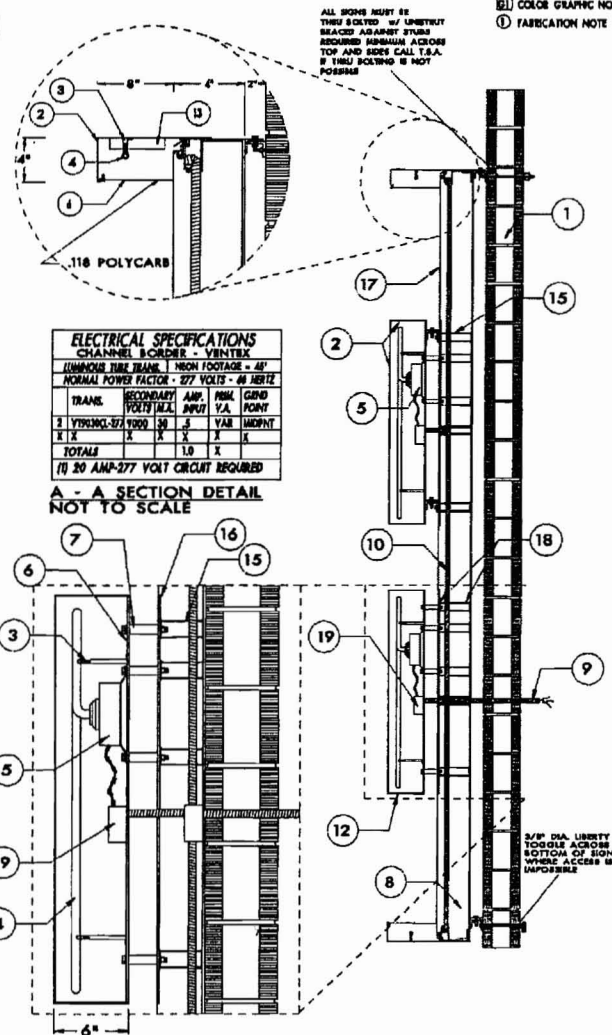
**SIGN TO BE THRU-BOLTED**



**SINGLE FACE WALL SIGN WITH REVERSE CHANNEL LETTERS**  
Scale @ 3/16" = 1'-0"



**GRID FRAMING DETAIL**  
Scale @ 3/16" = 1'-0"



**ELECTRICAL SPECIFICATIONS**  
CHANNEL BORDER - VENTEX  
(UNIFORM TUBE TRANS. | NEON FOOTAGE = 45'  
NORMAL POWER FACTOR - 277 VOLTS - 60 HERTZ

TRANS.	SECONDARY VOLTAGE	AMP	PRIM. AMP	PRIM. V.A.	GRND POINT
3	VENDING-274	1000	36	3	YAR
2	12	1	1	1	1
TOTALS		1	1	1	1

(1) 20 AMP-277 VOLT CIRCUIT REQUIRED

**A - A SECTION DETAIL**  
NOT TO SCALE

11 COLOR GRAPHIC NOTE  
11 FABRICATION NOTE



**BLAIR SIGN PROGRAMS**

2236 Via Orange Way  
Burbank 105  
Burbank Valley, CA. 91876  
Phone: 818-850-0156  
Fax: 818-850-2878  
e-mail: bls@blairsign.net  
Call: License #B77503

*Brentwood Junction*

CLIENT

PROJECT  
Brentwood Junction

ADDRESS  
Empire & Lone Tree Way  
Brentwood, CA

DATE  
10/04/05

REVISIONS  
A: 12/06/05 JO  
B: 12/06/05 JO  
C: 12/12/05 TC  
D: 12/28/05 JO  
E: 01/04/06 JO

The colors printed on this document may vary from the colors specified. It is important to note

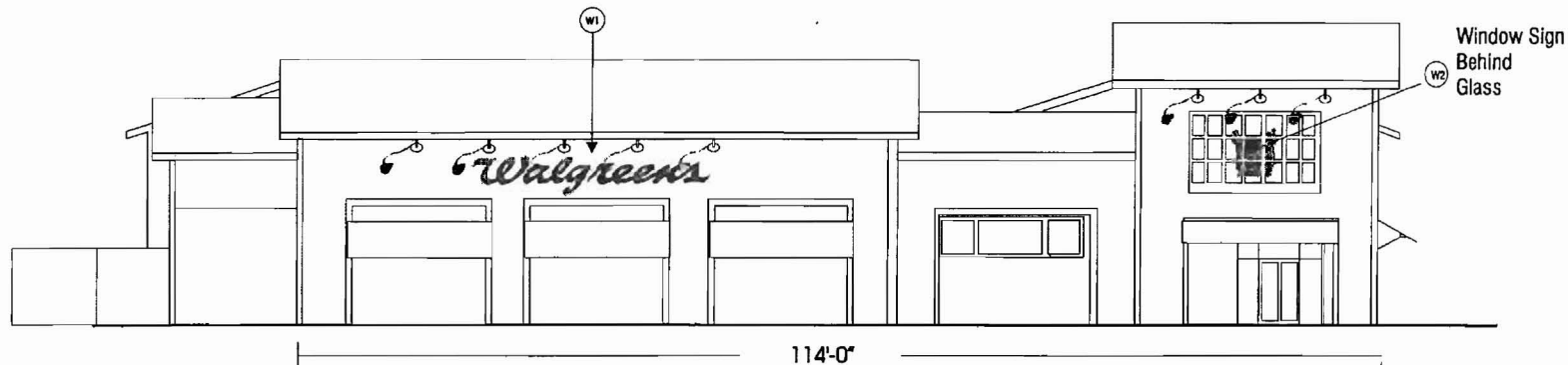
Sheet 4

© Copyright 2006, by Blair Sign Programs

DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.





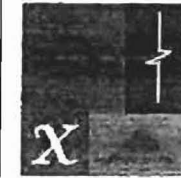
Major 1 - West Elevation, Empire & Lone Tree Way 1/16"=1'

Allowed Area = 269 sq.ft.  
Actual Area = 82.5 sq.ft.  
Wall and Window Sign



Major 1 - South Elevation, Empire & Lone Tree Way 1/16"=1'

Allowed Area = 269 sq.ft.  
Actual Area = 82.5 sq.ft.  
Wall and Window Sign



**BLAIR SIGN PROGRAMS**

2708 Via Orange Way  
Suite 155  
Spring Valley, CA. 91978  
Phone: 619-680-0158  
Fax: 619-680-8000  
e-mail: blair@blairsign.net  
Calif. License #677503

*Brentwood Junction*

CLIENT

PROJECT  
Brentwood Junction

ADDRESS  
Empire & Lone Tree Way  
Brentwood, CA

DATE BY  
10/04/05 Justin O'Gara

REVISIONS

A. 11/05/05 OL

B. 01/04/06 JO

C.

D.

E.

The colors printed on this document may vary from the colors specified.

It is important to note that the finished colors may vary from the specified colors, color chips and/or paintouts provided for this project.

**MAJOR 1**

Sheet 5

APPROVALS:

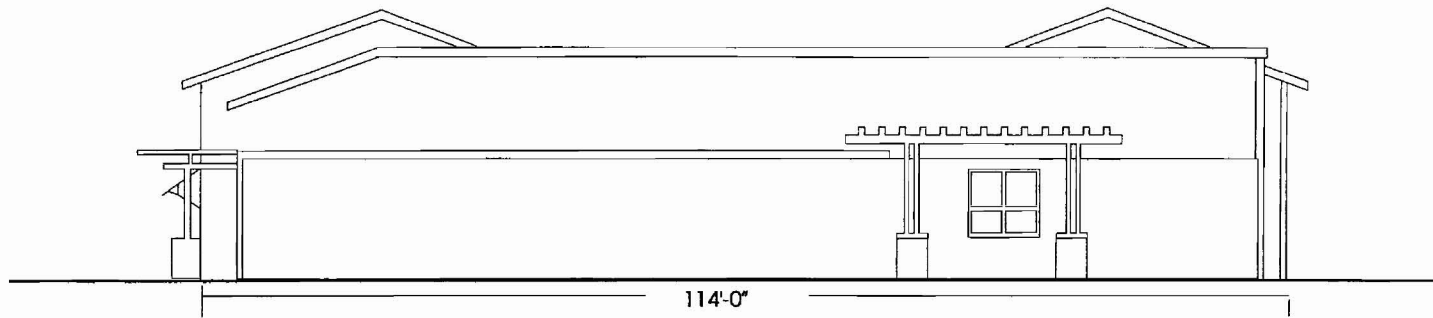
BY CLIENT: \_\_\_\_\_

BY LANDLORD: \_\_\_\_\_

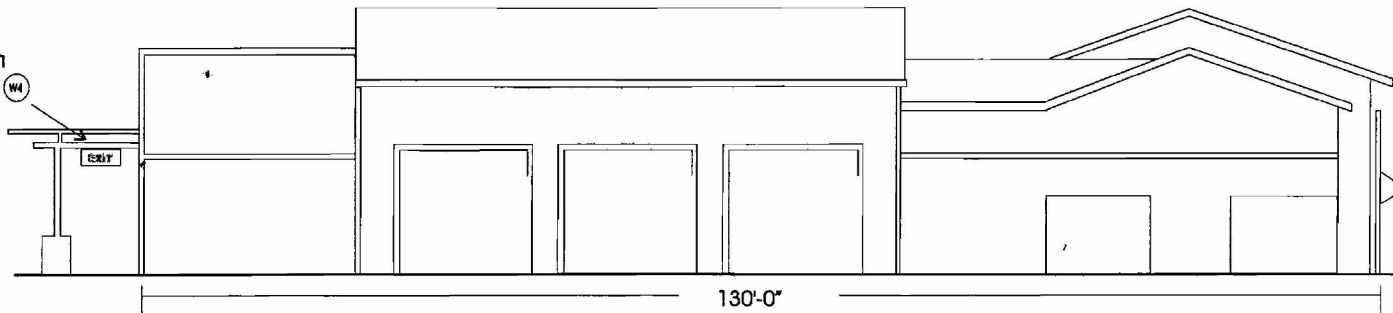
© Copyright 2006, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.

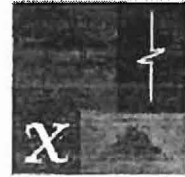




Major 1 - East Elevation 1/16"=1'



Major 1 - North Elevation 1/16"=1'



**BLAIR SIGN PROGRAMS**

2735 Via Orange Way  
 Suite 105  
 Spring Valley, CA 91973  
 Phone: 619-932-9109  
 Fax: 619-452-8892  
 e-mail: blair@blairsign.net  
 Calif. License #R77863

*Brentwood Junction*

CLIENT

PROJECT  
 Brentwood Junction

ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA

DATE BY  
 10/04/05 Justin O'Gara

REVISIONS  
 A: 01/04/06 JO

- B: \_\_\_\_\_
- C: \_\_\_\_\_
- D: \_\_\_\_\_
- E: \_\_\_\_\_

The colors printed on this document may vary from the colors specified.

It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

**MAJOR 1**

Sheet 6

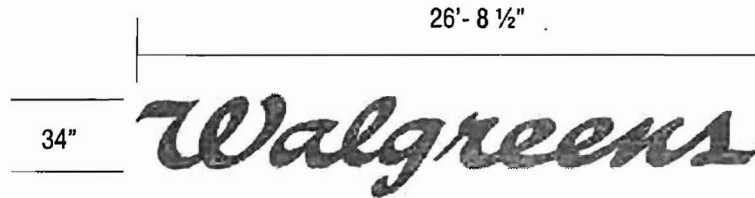
APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.



1. 5" Channel Letters
2. Bronze Return & Trim Caps
3. Red Flat Faces

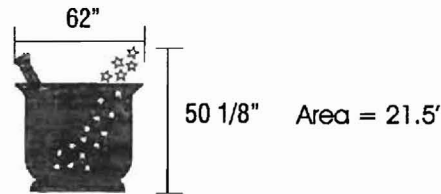


Area = 61 sq.ft.

W1 Wall Sign

Manufacture and install entry way wall graphics for entrance tower. Mortar and Pestle to be Benjamin Moore #3630-36 "Blue" surface applied vinyl film with outline blue neon. Inside stars to remain white with outline white neon. Outside stars to be Benjamin Moore #3630-53 "Red" surface applied vinyl film with outline red neon. Transformers to be remote mounted behind wall within recessed transformer housing. All per sketch to be approved before construction.

Background wall and aluminum plates to be painted Benjamin Moore "Decorator White".



SCALE 3/16" = 1'

W2 Window Sign (2 Required)

APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.



**BLAIR SIGN PROGRAMS**

2785 Via Orange Way  
 Studio 105  
 Spring Valley, CA, 91977  
 Phone: 619-860-9100  
 Fax: 619-860-8300  
 e-mail: blair@blairsign.net  
 Calif. License #677703

*Brentwood Junction*

CLIENT

PROJECT  
 Brentwood Junction

ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA

DATE BY  
 10/04/05 Justin O'Gara

REVISIONS

- A: 11/05/05 OL
- B: 01/04/06 JO
- C: \_\_\_\_\_
- D: \_\_\_\_\_
- E: \_\_\_\_\_

The colors printed on this document may vary from the colors specified.

It is important to note that the finished colors may vary from the specified colors, color chips and/or print-outs provided for this project.

**MAJOR 1**

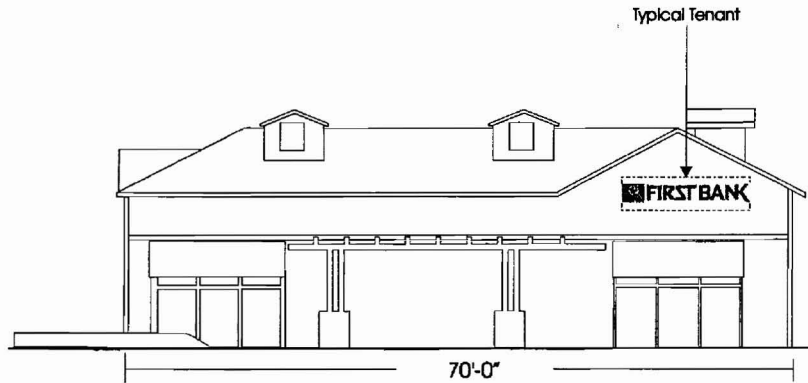
Sheet 7

MEMBER

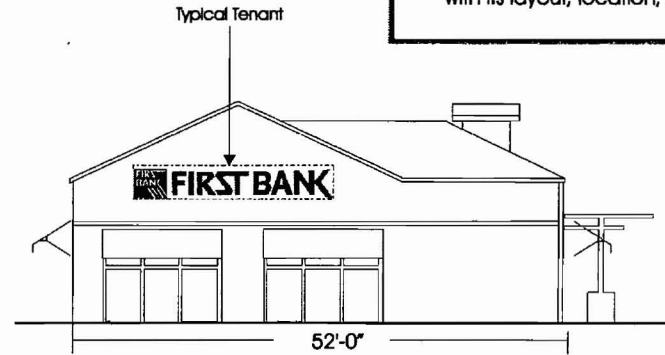




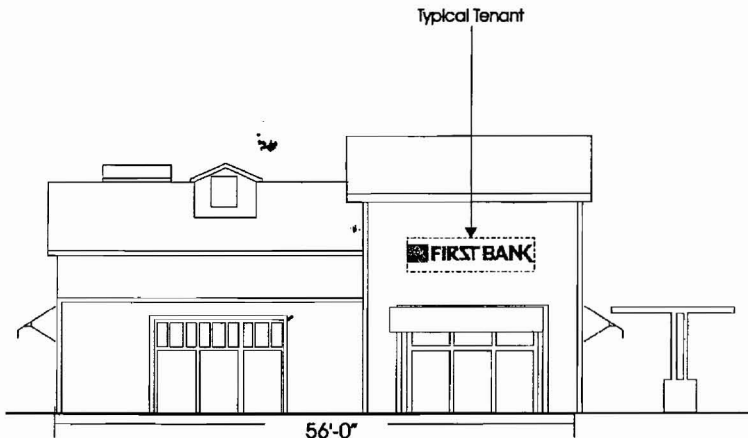
Suggested tenant sign locations shown. Each tenant shall be required to submit an individual sign plan with its layout, location, and details shown.



Pad 2 - South Elevation 1/16" = 1'



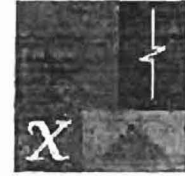
Pad 2 - West Elevation 1/16" = 1'



Pad 2 - East Elevation 1/16" = 1'



Pad 2 - North Elevation 1/16" = 1'



**BLAIR SIGN PROGRAMS**

2705 1/2 Orange Way  
Suite 101  
Spring Valley, CA 91778

Phone: 619-886-8168  
Fax: 619-880-3566  
e-mail: blair@blairsign.com

Calif. License #377603

*Brentwood Junction*

CLIENT

PROJECT

Brentwood Junction

ADDRESS

Empire & Lone Tree Way  
Brentwood, CA

DATE BY

10/04/05 Justin O'Gara

REVISIONS

A: 11/05/05 OL

B: 01/04/06 JO

C:

D:

E:

The colors printed on this document may vary from the colors specified.

It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

**MAJOR 2**

Sheet 8

APPROVALS:

BY CLIENT: \_\_\_\_\_

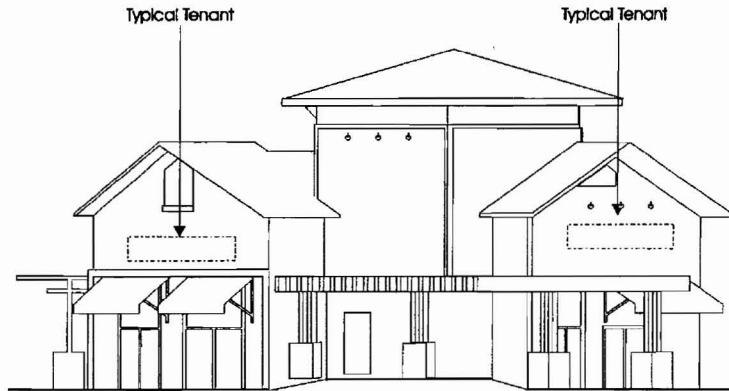
BY LANDLORD: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

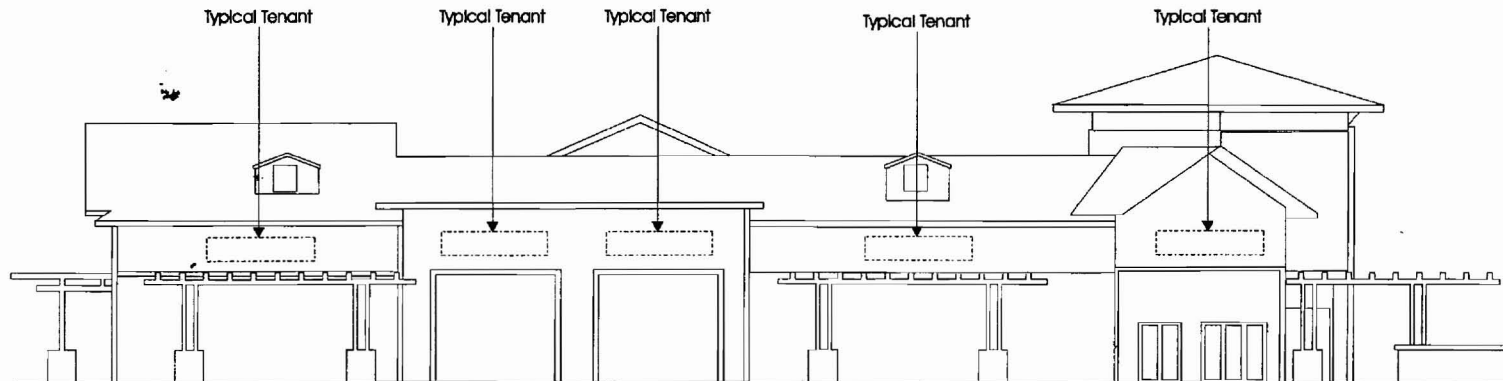
These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.



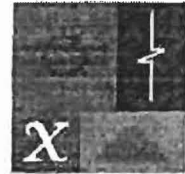
Suggested tenant sign locations shown. Each tenant shall be required to submit an individual sign plan with its layout, location, and details shown.



Pad 1 - South Elevation 1/16" = 1'



Pad 1 - West Elevation 1/16" = 1'



**BLAIR SIGN PROGRAMS**

2795 Via Coronado Way  
 Studio 108  
 Spring Valley, CA 91770  
 Phone: 916-500-9165  
 Fax: 916-504-6666  
 e-mail: csh@blairsign.com  
 Calif. License #677503

*Brentwood Junction*

CLIENT

PROJECT  
 Brentwood Junction

ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA

DATE BY  
 10/04/05 Justin O'Gara

REVISIONS

- A: 11/08/05 JO
- B: 01/04/06 JO
- C:
- D:
- E:

The colors printed on this document may vary from the colors specified.

It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

**PAD 1**

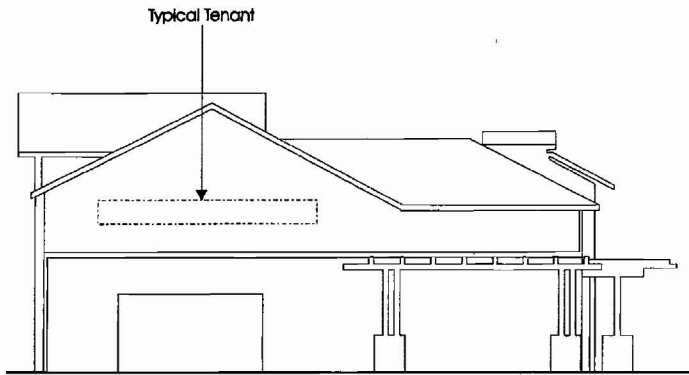
Sheet 11

APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

© Copyright 2004, by Blair Sign Programs

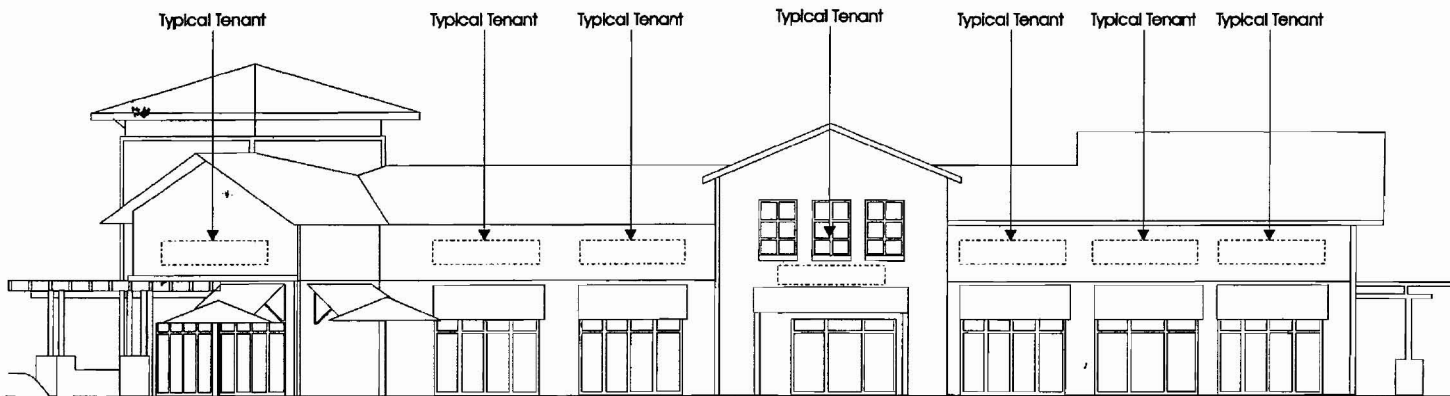
These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.





Pad 1 - North Elevation 1/16" = 1'

Suggested tenant sign locations shown. Each tenant shall be required to submit an individual sign plan with its layout, location, and details shown.



Pad 1 - East Elevation 1/16" = 1'



**BLAIR SIGN PROGRAMS**

2735 Via Canyon Way  
 Studio 103  
 Spring Valley, CA 91978  
 Phone: 619-990-1100  
 Fax: 619-990-0066  
 Email: blair@blairsign.net  
 Calif. License #677800

*Brentwood Junction*

CLIENT  
 PROJECT  
 Brentwood Junction  
 ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA

DATE BY  
 10/04/05 Justin O'Gara

REVISIONS  
 A: 01/04/06 JO  
 B:  
 C:  
 D:  
 E:

The colors printed on this document may vary from the colors specified.  
 It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

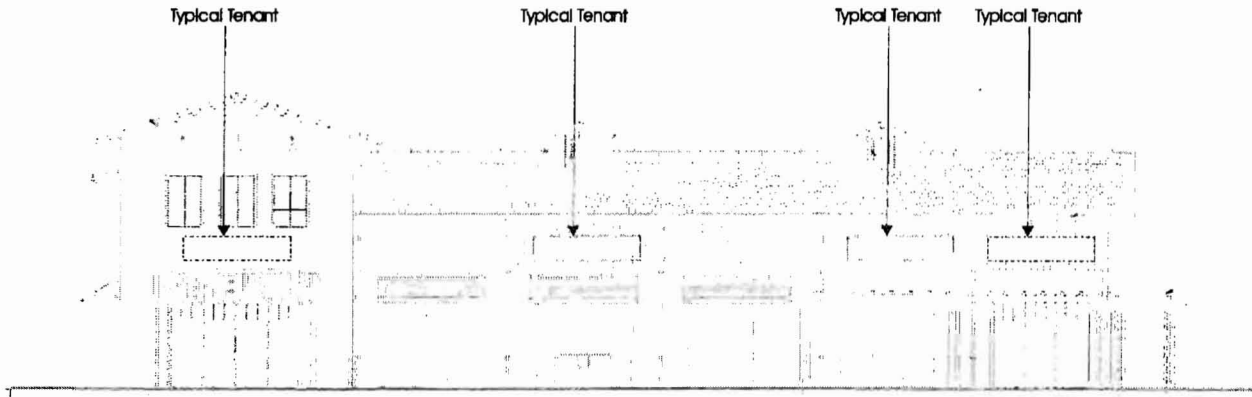
**PAD 1** Sheet 12

APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

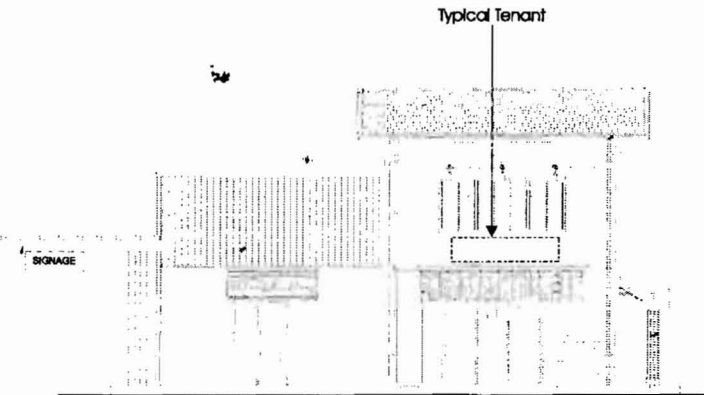
© Copyright 2004, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.

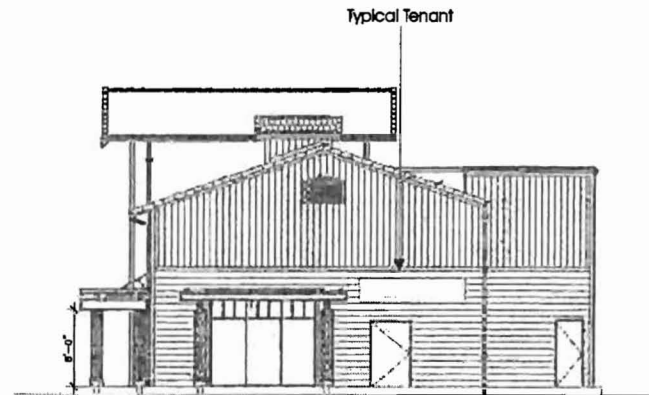




East Elevation 1/16"=1'



South Elevation 1/16"=1'



North Elevation 1/16"=1'

Suggested tenant sign locations shown. Each tenant shall be required to submit an individual sign plan with its layout, location, and details shown.



**BLAIR SIGN PROGRAMS**

2741 Via Orange Way  
 Stearns 100  
 Spring Valley, CA. 91976  
 Phone: 619-660-5100  
 Fax: 619-660-8800  
 e-mail: blsign@blairsign.com  
 Web: www.blairsign.com

*Brentwood Junction*

CLIENT  
 PROJECT  
 Brentwood Junction  
 ADDRESS  
 Empire & Lone Tree Way  
 Brentwood, CA  
 DATE BY  
 10/04/05 Justin O'Gara

REVISIONS  
 A: 01/04/06 JO  
 B:  
 C:  
 D:  
 E:

The colors printed on this document may vary from the colors specified.  
 It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

**Building 3**

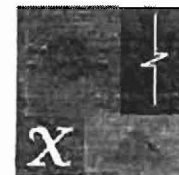
Sheet 13

APPROVALS:  
 BY CLIENT: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.





# BLAIR SIGN PROGRAMS

2758 Via Orange Way  
Suite 105  
Spring Valley, CA 94076

Phone: 619-660-0168  
Fax: 619-660-5688  
e-mail: bsp@blairsign.net  
Call: Lowell 8677502

## Brentwood Junction

### CLIENT

**PROJECT**  
Brentwood Junction

**ADDRESS**  
Empire & Lone Tree Way  
Brentwood, CA

**DATE BY**  
10/04/05 Justin O'Gara

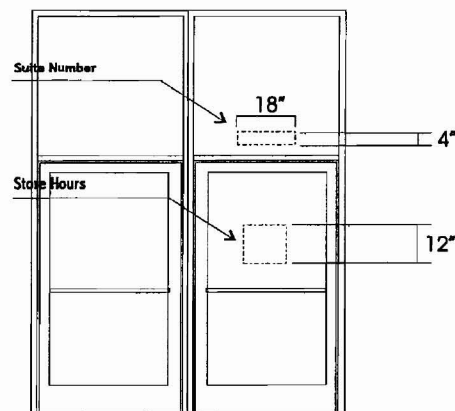
### REVISIONS

- A: 11/08/05 JO
- B: 01/04/06 JO
- C:
- D:
- E:

The colors printed on this document may vary from the colors specified.

It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

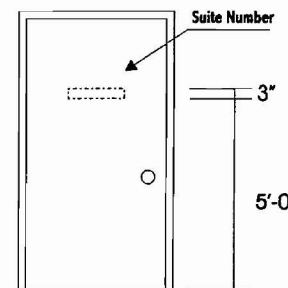
Sheet 15



Customer Entry Door

Customer Entry 1/4" = 1'

Address and store hours vinyl letters.  
Letter height not to exceed  
example shown.



Service Entry Door

Service Entry Door 1/4" = 1'

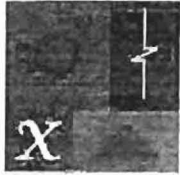
Letter height shall be 3" as shown.

**APPROVALS:**  
 BY CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_  
 BY LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_

© Copyright 2006, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.





**BLAIR SIGN PROGRAMS**

2750 Via Orange Way  
Suite 105  
Spring Valley, CA 91778  
Phone: 916-960-4106  
Fax: 916-960-2096  
e-mail: hst@blairsign.net  
Calif. License #677503

*Brentwood Junction*

CLIENT

PROJECT  
Brentwood Junction

ADDRESS  
Empire & Lone Tree Way  
Brentwood, CA

DATE BY  
10/04/05 Justin O'Gara

REVISIONS  
A: 11/05/05 OL  
B: 01/04/06 JO  
C:  
D:  
E:

The colors printed on this document may vary from the colors specified.  
It is important to note that the finished colors may vary from the specified colors, color chips and/or paint-outs provided for this project.

Sheet 16



Dark Brown Aluminum Sign Can  
With Red Routed Letters / Backlighting

4.5 sq. Ft.

W4

15" **DRIVE THRU PHARMACY**

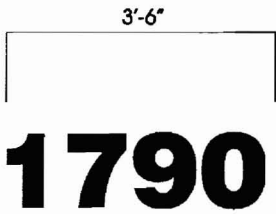
**12'-0" CLEARANCE**

7'-0"

REGULATORY, TYPICAL SCALE 1/2" = 1'

18.5 sq.ft.

W5



White Vinyl Letters  
Applied to Glass

TENANT BUILDING ADDRESS / TYPICAL SCALE 1/2" = 1'

**SIGN DATA**

SIGN PANEL FROM .063" THICK ALUMINUM WITH HEMMED EDGES. FACE TO BE YELLOW WITH 4" HIGH BLACK HELVETICA MEDIUM CAPITAL LETTER COPY. BACKGROUND SURFACE COATING TO BE 3M "SCOTCHLITE" REFLECTIVE FILM, YELLOW #580-71. SUSPEND SIGN ON ONE LINK OF CHAIN FROM CANOPY CEILING.

**INCIDENTAL / REGULATORY**

APPROVALS:  
BY CLIENT: \_\_\_\_\_  
BY LANDLORD: \_\_\_\_\_

© Copyright 2004, by Blair Sign Programs

These plans are the exclusive property of BLAIR SIGN PROGRAMS and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from BLAIR SIGN PROGRAMS a product manufactured according to these plans. Distribution or exhibition of these plans to anyone other than employees of your company, or use of these plans to construct products similar to those embodied herein, is EXPRESSLY FORBIDDEN. In the event that such exhibition occurs, BLAIR SIGN PROGRAMS expects to be fully reimbursed for time and effort entailed in creating these plans.

