

# SIENA VILLAGE

## MASTER SIGN PROGRAM for Siena Village Brentwood, California

A Development of:  
Balfour Properties, LLC  
3820 Blackhawk Road  
Danville, CA 94506

Prepared by:  
Dahlin Group Architects & Planners

Master Sign Program

### APPROVED PLAN

PERMIT NO. CUP05-13-A1

RESOLUTION NO. 07-016

ACTION:  APPROVED  DENIED *w/conditions*

DATE 2/20/07

Date Revised 12.07.2006

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# SIENA VILLAGE

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# SIENA VILLAGE

## Part 1.0 -Introduction

### I.I Preface

The intent of this document is to establish guidelines and criteria for the design, implementation and regulation of Siena Village's mixed-use development signage. This document covers tenant signage as well as site signage and any or all thematic graphics used throughout Siena Village's mixed-use development project, excluding the 90 autocourt single-family detached residences.

All signage not specifically covered in this Master Sign Program shall be covered by the City of Brentwood Design Guidelines and the City of Brentwood Sign Ordinance Code Section, Title 17 Zoning, Chapter 17.640 Signs.

The Owner/developer may implement any or all of the sign types outlined within the guidelines, in accordance with these criteria, subject to "approval from the City of Brentwood.

### 1.2 Design Philosophy

The Siena Village Master Sign Program has been created to insure that site and tenant signage will be an enhancement to the Tuscan/Mediterranean village theme of the center and community. The intent is to compliment the architectural themed buildings through the use of smaller scale design detail and color schemes typically found throughout the villages and villas of the inland Spanish, French and Italian Mediterranean regions. This not only keeps with the common architectural theme, but also works well with unifying and identifying the project and its tenants in a historic, classical fashion.

### 1.3 Purpose and Intent

The Master Sign Program criterion is provided as a guide for architects, designers and tenants in the design, development and implementation of signs at Siena Village. The design of all graphics has been carefully considered in relationship to the common architectural theme of the buildings and landscaping, as well as to the specific context of the project location. The objectives are:

- A. To establish signing as a unique design element that contributes to the shopping experience at Siena Village.

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- B. To stimulate varied and creative thought for the creation of original signing, applying imaginative design treatments to logos and typestyles.
- C. To provide acceptable signing standards in order to facilitate the review and approval process.
- D. To meet the directional and identification needs of shoppers once they have entered the site.
- E. To create engaging, decorative signs easily legible and entertaining for the shoppers.

### 1.4 Tenant Requirements

- A. It will be the responsibility of the Building architect to propose a detailed sign criterion for his/her building as outlined in this Master Sign Program.
- B. All tenant signage shall be provided by the tenant and conform to the criteria.
- C. Tenants are required to retain the services of professional sign companies and fabricators. These sign professionals must have a valid license to practice within the State of California. All sign concepts, created by the sign professionals, will be submitted to the Owner/developer for approval. Following Owner/developer approval of the concept, the sign fabricator, again for Owner/developer approval, is required to submit engineered shop drawings.
- D. All tenant signage is subject to Owner/developer written approval. The Owner/developer reserves the right to remove any and all signs that have been fabricated and installed without prior written approval. Tenant will pay for all cost of the removal of such signage. This is including, but not limited to, patching and repairing of the building.
- E. Tenants must acquire the appropriate government permits, fees and licenses prior to the installation of any signs.
- F. Tenants must pay for their own sign fabrication, installation and City permits. If surface repairs or any damages occur from the sign or at time of installation the tenant shall be held responsible for cost of repair.
- G. Tenants are responsible for maintenance costs and upkeep of their own signs.
- H. Upon vacancy, tenant shall be responsible for removing their sign and repairing the surface from which it was removed and remove all signs of "ghosting" on the facade. This will be done at the expense of the tenant within fifteen (15) days of expiration of term or in the event of an early termination of tenant's lease.
- I. Variances to these requirements may potentially be available with approval from the Owner/developer and the City of Brentwood.

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## 1.5 Enforcement

- A. Owner/developer will be responsible for criterion conformity and the sign code will be the responsibility of the City of Brentwood. In the event of any contradicting information stated between the two, the most stringent shall govern.
- B. Any non-conforming or un-approved signage will be removed and replaced by a conforming sign or the sign will be brought to conformity at the cost of the tenant.

## Part 2.0 - General Design Criteria

### 2.1 Design Objectives

- A. Similar to the Design Guidelines for the buildings, the intent is to create a visually identifiable and unified community. The signage shall be an enhancement of this concept through the use of materials and form. Commonality of color, materials, landscape and the grace of age will blend into a harmonious, coherent and memorable "place".
- B. Signs that incorporate creative logos or graphic elements in addition to the business identity are encouraged. The identity signs are to consist of "Trade Name" only. Bylines, merchandise or service descriptions are not allowed. Signage and graphics shall be conceived as an integral part of the design and not applied to the buildings as an afterthought.
- C. Any special conditions or deviations from these objectives, keeping within the City of Brentwood Signage Guidelines, must be given to the Owner/developer in the form of a submittal. The Owner/developer must approve the submittal in writing before any sign may be erected. All signage must conform to maximum square footages specified within this Master Sign Program.

### 2.2 Lighting

Tenant signs may be internally illuminated. The Owner/developer's house panel and time clock must control all illuminated signs. Signs may be illuminated during general operating hours after dark, but must be turned off at the close of business. The illumination for the monument signs must be turned off after the last business closes. All signage lighting must be baffled or concealed. No light leaks will be permitted. All conductors, transformers, ballasts and other lighting equipment shall be concealed. No sign lamps shall be exposed, all fixtures are subject to approval from



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Owner/developer, Architect, and City of Brentwood.

Shades or other lighting elements are to contribute to the design of the sign and should not detract from the architectural theme of Siena Village.

Primary signage must incorporate one or more forms of illumination:

- Reverse/halo channel neon
- Internally illuminated, individual pan channel letters
  
- Open or exposed channel neon
- Internally illuminated sign forms utilizing seamless opaque faces with backed up or push through translucent letterforms
- Opaque sign forms utilizing exterior pin spot or fiber optic illumination

## 2.3 Colors

Tenant sign color schemes must provide sufficient daytime readability contrast between field color of the building and text type. All sign colors are to be included as part of any tenant sign submittal to the Owner/developer for review and approval.

## 2.4 Materials

The design, fabrication and installation of these materials must remain in keeping with the overall Tuscan/Mediterranean theme and also to enhance the timelessness of the community through use of form and colors. All sign materials are to be included as part of any tenant sign submittal to the Owner/developer for review and approval. Allowable types include:

- A. Dimensional fabricated metal shapes that are painted or burnished to create a variety in texture and color
- B. Cut, abraded or fabricated metals, such as bronze, brass, copper, wrought iron or steel
- C. Painted metal screens or meshes
- D. Glass or Acrylic
- E. Dimensional letter forms with seamless edge treatments
- F. Natural opaque hard surface materials with matte finishes
- G. Pan channel letters with translucent faces and trim caps

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## 2.5 Sign Placement

Identity signs shall be placed centered and above the primary storefront entrances, unless otherwise indicated or allowed. Signs and graphic elements must appear to fit comfortably within the sign area, leaving enough of a margin and negative space all around.

No signs shall be permitted on the northern building elevations on back of Buildings, so as to minimize glare on adjacent residential areas.

## 2.6 Allowable Sign Types

The following sign types have been defined for use at the Siena Village Project. See the attached Exhibit Site Plan for locations and refer to graphic exhibits for specific sign illustrations.

### **Type 1 - Entry Monument Tower** (*corner of Balfour Road and Cortona Way*)

One (1) Free-standing stone entry feature with planters to have project identification

signage on a stone tile blade embedded within the planter, see 3.2 Exhibit "A" for signage location and tower details. The signage background to be 12"x12" cut limestone tile to match the color of the Eldorado Stone - "meseta fieldledge" stone veneer and "roma brick" brick accents. The sign shall be stacked individual dimensional bronze letters to be centered within tiled area, maximum of 8" high letters (each line), peg mounted no more than 1 ½ " from face of limestone tile surface and externally illuminated with shaded flood light fixtures concealed within landscaping.

No individual tenant or other signage shall be permitted on the entry tower, with said tower limited to a maximum height of 20 feet. Only the project name "SIENA VILLAGE" shall be permitted on the landscape planter wall adjacent to the base of the tower.

### **Type 2 - Free-standing Site Monument Sign** (*along Balfour Road and Cortona Way*)

All freestanding monument signs are to be similar in design, cabinet color, size and materials. The monument sign base shall have the Eldorado Stone - "meseta fieldledge" stone veneer and "roma brick" brick accents to match the stonework on the building architecture.

All monument signs shall be limited to a maximum size of 5' in height by 10' in length. All monument sign faces, except the gas price portion, shall be routed-out metal with push-through letters/graphics (unless line weight is too thin, in which case they may be non-push-through plex-backed letters/graphics).

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There will be a maximum of five (5) free-standing tenant monument signs within the Siena Village Project, three (3) along Balfour Road and two (2) off of Corona Way (see 3.1 Exhibit Site Plan for locations). These free-standing signs are double-sided signage monuments that identify the retail, commercial and service tenants of the Siena Village center.

The two (2) off of Cortona Way must be similar in dimension, materials, and color as to what is shown in 3.6 Exhibit "E". These are double-sided signage monuments that identify the Medical Office Building and the Assisted Care Facility in addition to their address. The building sign area allowed is not to exceed 10 SF per sign face, with a maximum of 8" high bronze letters.

### **Type 3 - Major Retail Anchor Primary Signage**

Primary signage for the Major Retail Anchor (Walgreens) may be provided on both street frontages and shall include internally illuminated (Walgreens script/logo) channel-reverse channel letterform signs provided in general conformance with the design shown in 3.8 (A & B) Exhibit "G".

The signage allowed includes the following:

- Balfour Road and Cortona Way facing signs shall include Walgreens" logo/script no more than 30" H x 24'-0" W.
- Walgreens "Mortar and Pestle" logo, approximately 30" H x 28" W, centered in entry tower facing Balfour Road and Cortona Way.
- Two directional signs for the pharmacy drive-thru one not to exceed 4' in height and area of 3-square-feet 1' 6" in height and area of 18-square-feet, one not to exceed 1' 6" in height and area of 6-square-feet.
- One "12' 0" Clearance" sign not to exceed 5" in height and 7' in width.  
See-3.8 (C, D &E) Exhibit "G" for further information on drive-through directional signage.

### **Type 4 - Single User Pad or Single Tenant Buildings (pad "1, 4 and 5)**

Tenants are allowed three (3) signs total, each on a different building elevation (one of which may be a freestanding site monument sign), per City of Brentwood Signage Guidelines. Each sign area per elevation shall be limited to one (1) SQ.FT. per linear foot of building elevation on which a sign will be placed. Building letter height is not to exceed 2'-0" in height and logo height not to exceed 30", see 3.9 Exhibit "H".

Pad 1 shall have no more than two directional signs for the Bank of Agriculture and Commerce drive-thru and not to exceed 4' in height and area of 3-square-feet.

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Pad 4 and 5 tenants, off of Cortona Way, must use a building signage light

fixture that incorporates an external shaded light fixture or gooseneck bracket type mounted to the building wall to control and conceal the light source from neighboring Shadow Lakes residences. The layout of the fixtures and lamp types are to be submitted by individual tenants for approval.

The location of the building-mounted signage for the medical office and assisted living buildings shall be submitted for the review and approval of the Community Development Director prior to issuance of a sign permit for those projects.

### **Type 5 - Single User Pad Food Service Tenant (pad 2)**

Single Tenant Food Service Pad Buildings will be allowed three (3) identify signs total, each on a different side of the building. Each sign area shall be limited to one (1) SQ.FT. per linear foot of building elevation on which the sign will be placed. Building letter height is not to exceed 2'-0" in height and logo height not to exceed 30", see 3.10 Exhibit "I".

McDonald's Single Tenant Food Service Pad Building will be allowed two drive-through, directional signs (not to exceed 4' in height and area of 3-square-feet) and one menu board per vehicle drive thru/queue. See-3.10 Exhibit "I" & 3.11 Exhibit "J" for further information on building signage location, drive-through directional signage and menu board signage.

### **Type 6 - Single User Pad Gasoline/Auto Service Tenant (pad 3)**

Gas Canopy- Tenant is allowed one (1) "Chevron" sign on the south side (Balfour Road), letter height not to exceed 1'-6" and one (1) corporate "logo" on the east side (highway 4 bypass), not to exceed 2'-0" in height.

Tenant is allowed a maximum of one (1) wall sign, centered over the main entrance of the building for the primary tenant identification.

Cumulative sign area per elevation shall be limited to one (1) SQ.FT. per linear foot of building elevation on which sign will be placed. Letterform height for primary tenant is not to exceed 2'-0" in height, logos not to exceed 30" high and 30" wide. See 3.12 Exhibit "K" for more information on building/canopy signage and freestanding monument/fuel sign.

### **Type 7 - In-Line Tenant Primary Signage**

In a multi-tenant shop building, each tenant shall be responsible for installing one (1) fascia/wall sign centered on his or her primary frontage. The total sign area allowed shall be calculated based on 1 1/2 SF of sign area for each 1 LF of the primary storefront leasehold width.

Primary Signage provided shall conform generally to the sizes and

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locations shown in 3.8 (A) Exhibit "G", and may be single or double line copy, and may incorporate logos and icons no larger than 24" high x 24" wide.

### Type B - In-Line Tenant Secondary Signage

In addition to Primary Signage noted above, each Tenant with multiple frontages may install one (1) secondary wall-mounted plaque, not too exceed 4 square-feet in sign area. End cap tenants with three frontages may be allowed a total of one (1) secondary sign so long as the total sign area does not exceed the total allowable.

### Other Secondary Tenant Signage

- **Wall Mounted Blade Signs**

These signs are intended to be sized for pedestrian viewing and not for passing vehicles. Signs shall be two-sided and only display the tenant's name and/or logo. The sign area is limited to 5 SF per tenant and suspended with a minimum clearance of 8 Feet clearance from pedestrian walking surface. Maximum projection is 4 feet from building face with a minimum of 6 inches maintained between the building face and closest projecting sign edge. Exterior lighting is encouraged.

- **Wall Mounted Plaques**

Plaques are to be mounted on panels and installed flush or pin-mounted to the wall surface. Allowable materials are cast metal, glass, wood or durable hard surfaces. If externally illuminated by means of a "gooseneck", the fixture is to be approved by Owner/developer. The maximum area of a wall-mounted plaque shall be limited to 4 square-feet in sign area.

- **Window Graphics**

- **Temporary**

- o Window graphics refer to Chapter 17.640 of the City of Brentwood Municipal Code.

- **Permanent**

- o Sign content will be limited to business name, business tenant logo, products, brand names offered by the business, address, hours of operation, emergency telephone numbers and credit cards accepted.
- o Window signs may include special graphic design elements with the approval of the Director of Community Development.
- o The size of window signs shall not exceed 25% of a single window area with no more than 15% of the aggregate frontage window area. Any sign located within 5 feet of the window will be considered a part of the window signage.

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## Building Address and Suite Signage

- **Building Address Numbers**

Owner will provide 12" high building address numbers in the style, color and location required by the City of Brentwood.

- **Rear Door Signage**

Tenant shall install service door signage. The purpose of this is to identify the service door for delivery and emergency uses only. Sign shall be a 12" high by 12" long sheet metal plaque affixed to the rear door with a minimum of four (4) self-tapping sheet metal screws. Plaque shall be painted to match door color. Letters may be a maximum of 4" high. Sign is to be centered on the door with bottom edge located 4'-6" (four feet six inches) from floor.

## 2.7 Prohibited Sign Types

The following sign types shall be prohibited at Siena Village:

- Changeable letter signs
- Roof Mounted signs and signs projecting above a roofline, parapet wall, etc. with conduit, junction boxes, transformer lamps
- Signs with exposed raceways, tubing or neon crossovers of any type
- Signs attached directly to raceways
- A-frame sandwich boards and other small portable signs
- Any sign designed to be moved from place to place
- Rotating, animated and flashing signs
- Pole signs and other signs with exposed structural supports not intended as a design element except for code-required signs
- Pennants, banners or flags identifying individual tenants
- Vehicle signs, except for the identification of a business enterprise or advertisement upon a vehicle used primarily for the purpose, provided the identification is painted on or otherwise affixed so as not to project from the usual profile of the vehicle
- Illuminated sign boxes or cabinet signs, except trademarked logos
- Illuminated backlit canopies
- Signs painted on an exterior building wall, window, fascia, on a fence or fence-type wall, on benches, fence posts, trash receptacles, utility poles, utility boxes, storage sheds, bus shelters, satellite dish antennas, or other accessory structures
- Signs attached, painted on or otherwise affixed to trees, other living vegetation, landscaping, or natural materials
- Signs attached, painted or otherwise affixed to awnings, tents or umbrellas

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- Balloons and inflatable signs
- Any signs, including freestanding, advertising the availability of employment opportunities
- Signs which emit sounds, odor or visible matter or which bear or contain statements, words or pictures of an obscene, pornographic or immoral character
- Fluorescent or reflective sign colors
- Fluorescent or reflective sign materials, such as a mirror
- Simulated materials, i.e. wood grained plastic laminate, wall covering, paper, cardboard or foam

### Part 3.0 - Signage Exhibits

#### 3.1 Exhibit Site Plan

#### 3.2 Exhibit "A" - Entry Monument Tower

#### 3.3 Exhibit "B" - Free-standing Site Monument Sign (*Walgreens/Retail*)

#### 3.4 Exhibit "C" - Free-standing Site Monument Sign (*B.A.C., pad 1*)

#### 3.5 Exhibit "D" - Free-standing Site Monument Sign (*Chevron, pad 3*)

#### 3.6 Exhibit "E" - Free-standing Site Monument Sign (*Cortona Way*) Template

#### 3.7 Exhibit "F" - Free-standing Site Monument Sign (*Meridian, pad 4*)

#### 3.8 (A) Exhibit "G" - Major Retail Anchor Primary Signage - In-line Tenant Primary and Secondary Signage

#### 3.8 (B) Exhibit "G" - Walgreens Mortar and Pestle Logo Details

#### 3.8 (C) Exhibit "G" - Walgreens Drive-thru Directional Signs Site Plan

#### 3.8 (D) Exhibit "G" - Walgreens Drive-thru Directional Signs Elevations

#### 3.8 (E) Exhibit "G" - Walgreens Drive-thru Directional Signs Details

#### 3.9 Exhibit "H" - Single User Pad or Single Tenant Buildings (*pads 1, 4 and 5*)

#### 3.10 Exhibit "I" - Single User Pad Food Service Tenant (*pad 2*)

#### 3.11 Exhibit "J" - Drive-thru Directional and Menu Board (*pad 2*)

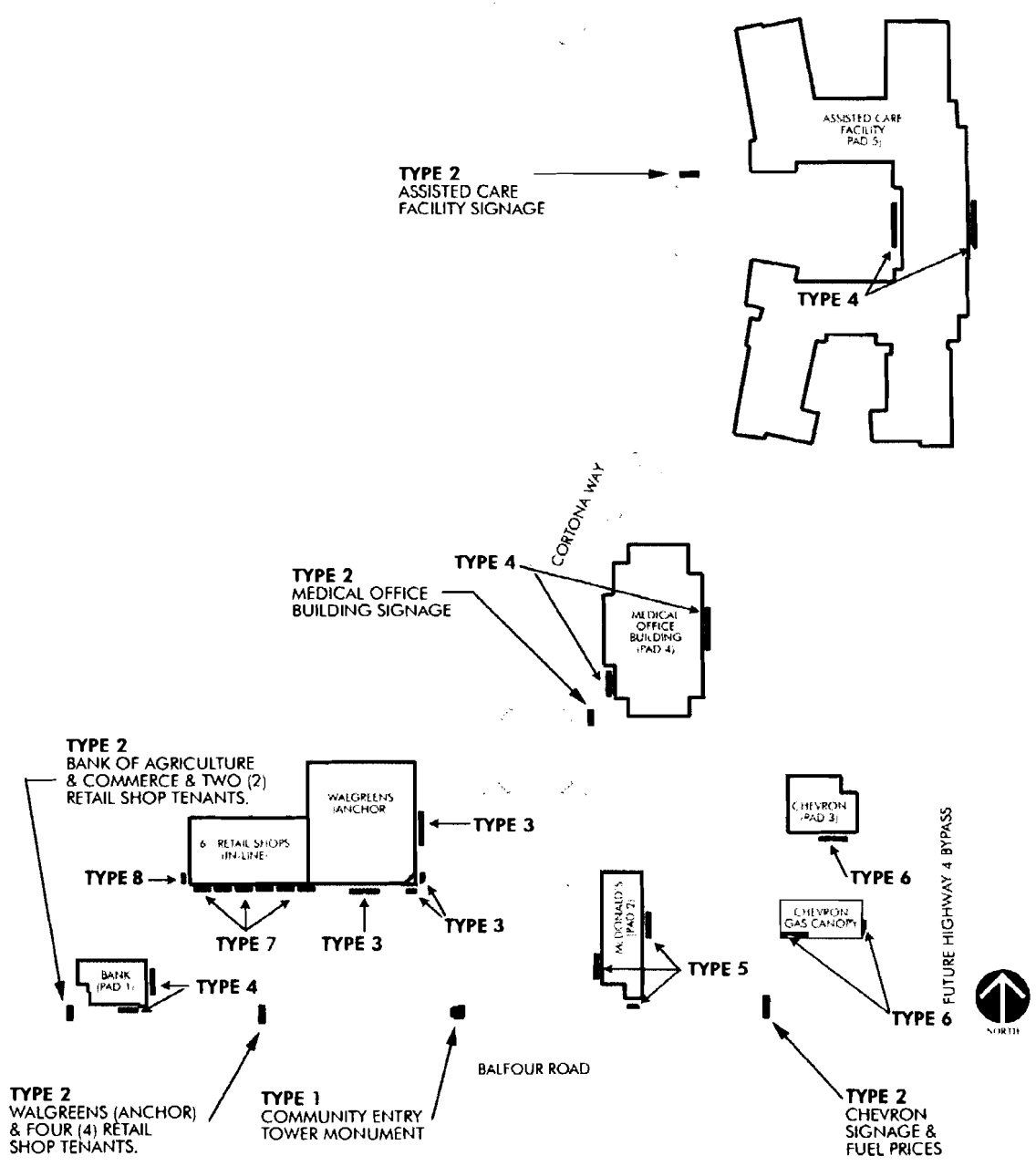
#### 3.12 Exhibit "K" - Single User Pad Gasoline/Auto Service Tenant (*pad 3*)

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## 3.1 Exhibit Site Plan

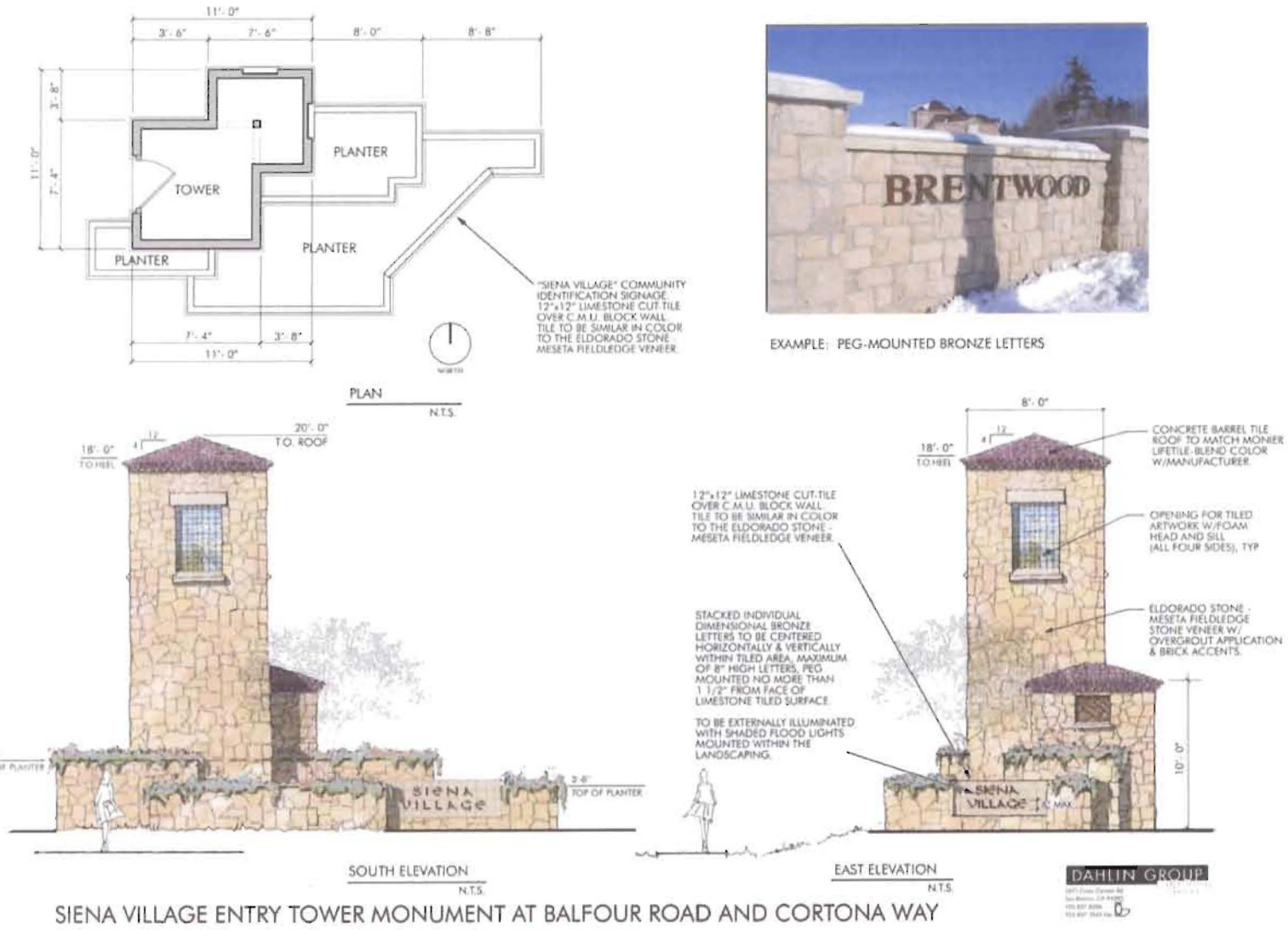
Note:

This map is intended for **reference only** to indicate each building sign type allowed on each subarea. These maps may not depict approved building or site information.



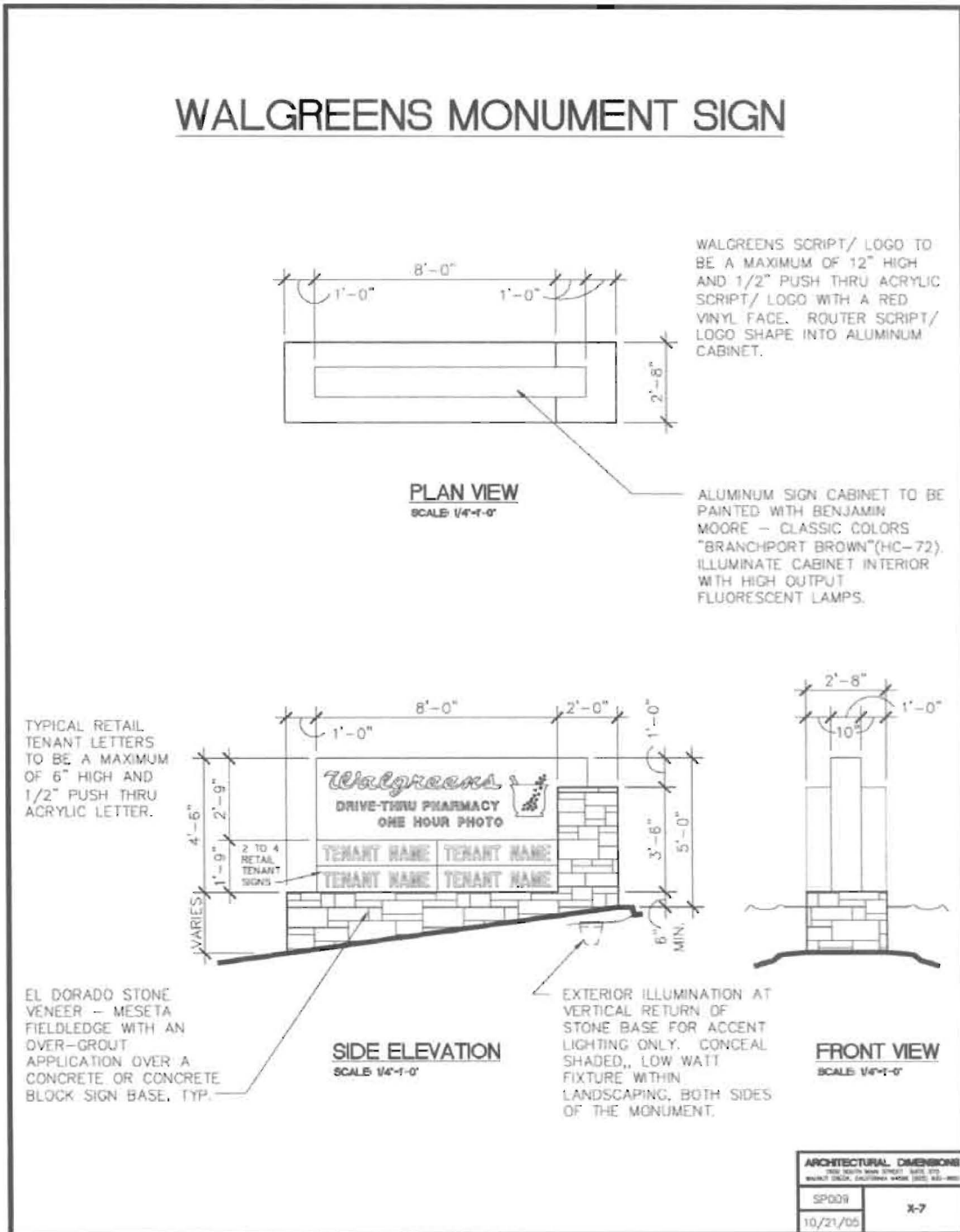


3.2 Exhibit "A" – Entry Monument Tower



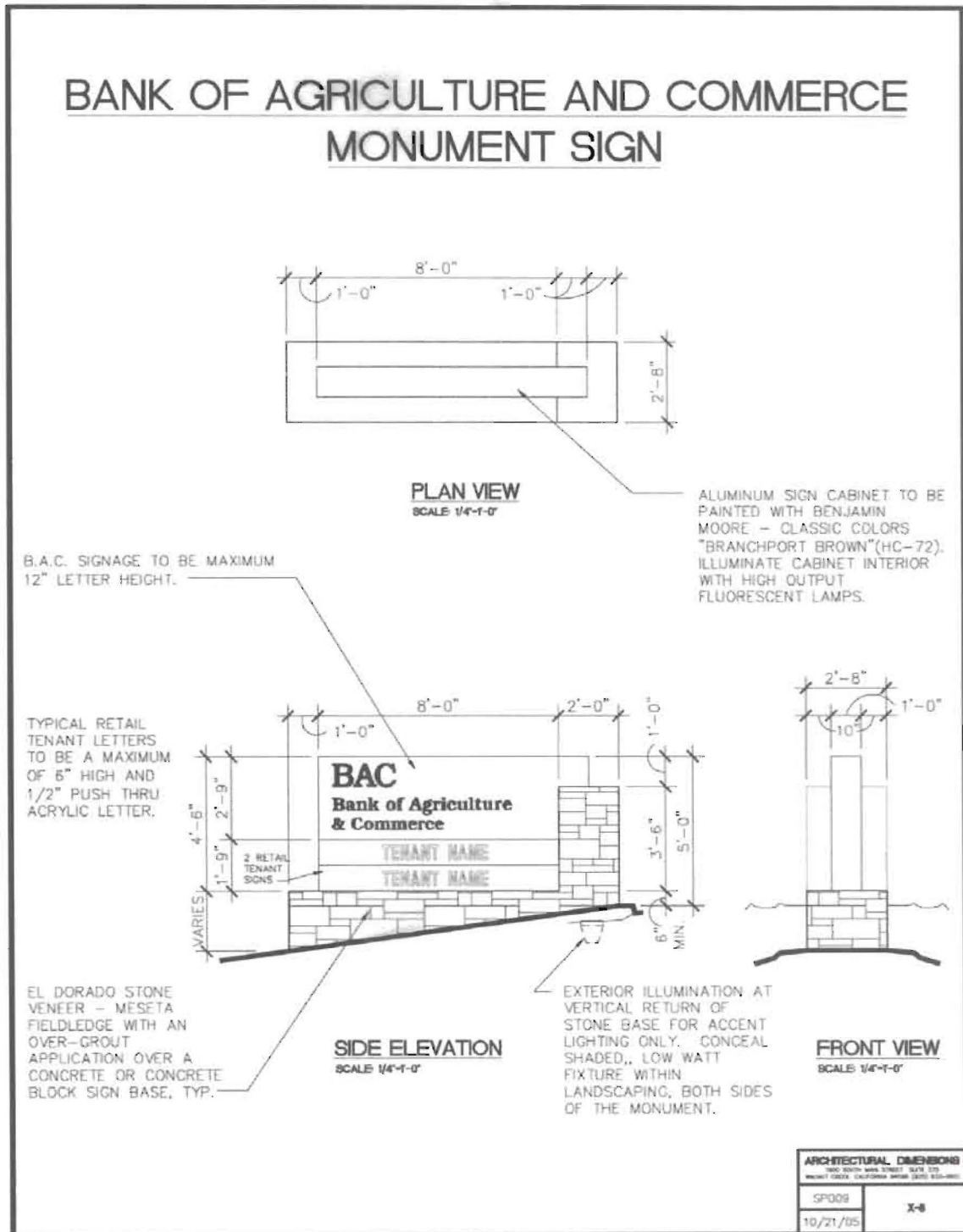
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## 3.3 Exhibit "B" – Free-standing Site Monument Sign (Walgreens/Retail) (see 3.1 Exhibit Site Plan for locations)



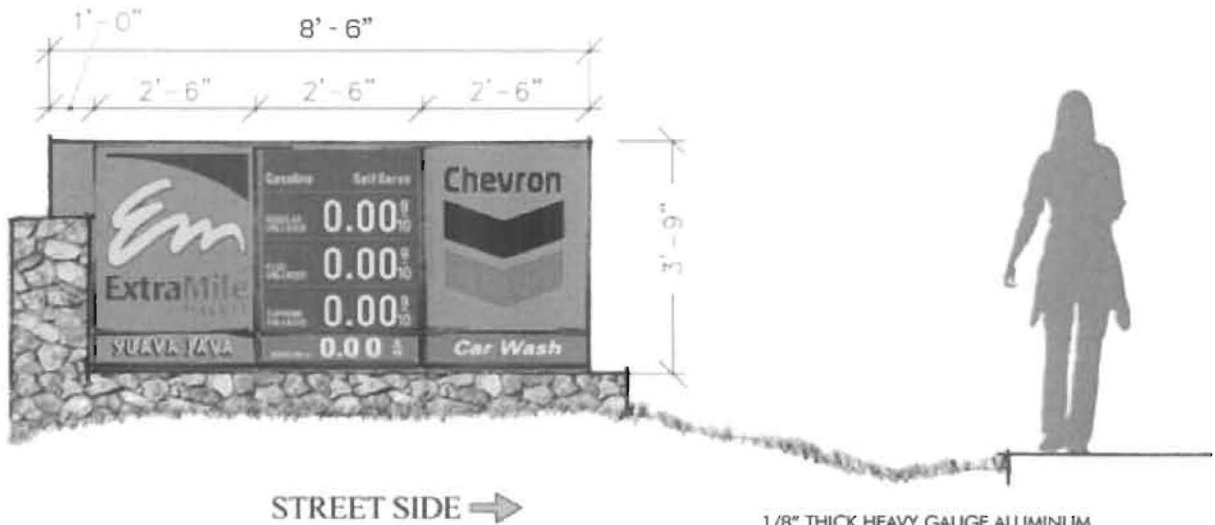
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## 3.4 Exhibit "C" – Free-standing Site Monument Sign (B.A.C., pad 1) (see 3.1 Exhibit Site Plan for location)



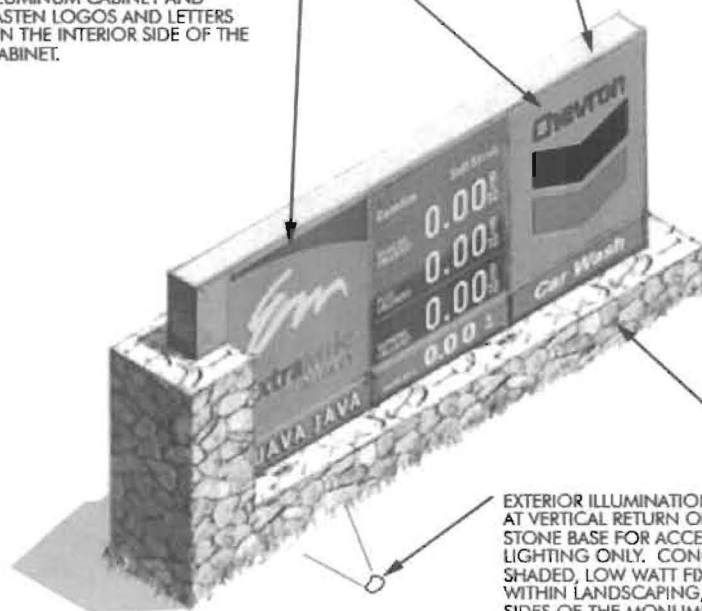
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## 3.5 Exhibit "D" – Free-standing Site Monument Sign (Chevron, pad 3) (see 3.1 Exhibit Site Plan for location)



1/8" THICK HEAVY GAUGE ALUMINUM SIGN CABINET TO BE PAINTED WITH BENJAMIN MOORE - CLASSIC COLORS "BRANCHPORT BROWN" (HC - 72). ILLUMINATE CABINET INTERIOR WITH HIGH OUTPUT FLOURESCENT LAMPS.

CHEVRON AND EXTRA MILE LOGOS AND LETTERS TO BE A MAXIMUM 1/2" THICK PUSH-THRU ACRYLIC. ROUTER LOGO AND LETTER SHAPES INTO ALUMINUM CABINET AND FASTEN LOGOS AND LETTERS ON THE INTERIOR SIDE OF THE CABINET.



ELDORADO STONE VENEER - MESETA FIELDLEDGE WITH AN OVER-GROUT APPLICATION OVER A POURED CONCRETE OR CONCRETE BLOCK SIGN BASE, TYR

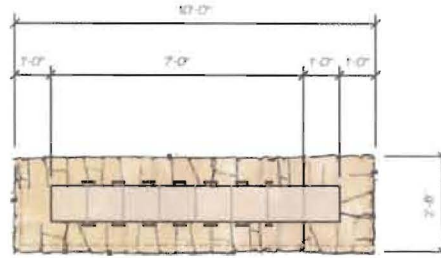
EXTERIOR ILLUMINATION AT VERTICAL RETURN OF STONE BASE FOR ACCENT LIGHTING ONLY. CONCEAL SHADED, LOW WATT FIXTURE WITHIN LANDSCAPING, BOTH SIDES OF THE MONUMENT.

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## 3.6 Exhibit "E" – Free-standing Site Monument Sign along Cortona Way template (see 3.1 Exhibit Site Plan for locations)

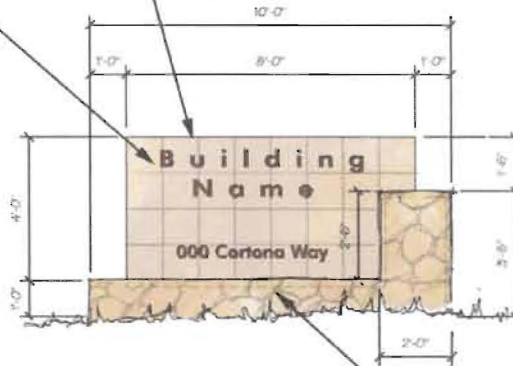
ALL LETTERS TO BE BRONZE, ANTIQUE AND AGED IN COLOR, PEG-MOUNTED 1-1/2" FROM LIMESTONE TILE SURFACE. MAXIMUM LETTER HEIGHT FOR BUILDING NAME TO BE 8" AND MAXIMUM ADDRESS LETTER HEIGHT TO BE 6".

MONUMENT SIGN TO BE EXTERNALLY LIT WITH A SHADED FLOOD LIGHT MOUNTED WITHIN THE LANDSCAPING.

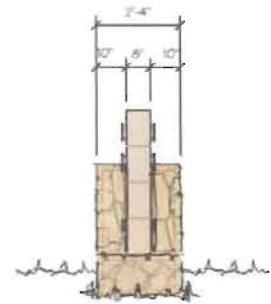


PLAN VIEW

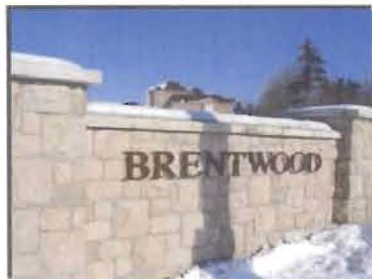
12"x12" LIMESTONE CUT-TILE OVER C.M.U. BLOCK WALL. TILE TO BE SIMILAR IN COLOR TO THE ELDERADO STONE.



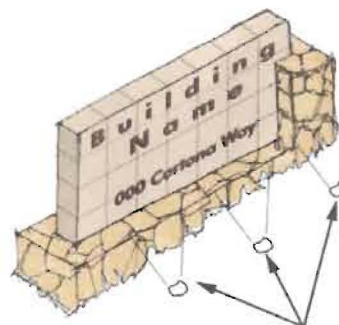
SIDE ELEVATION



FRONT VIEW



EXAMPLE: PEG-MOUNTED, BRONZE LETTERS



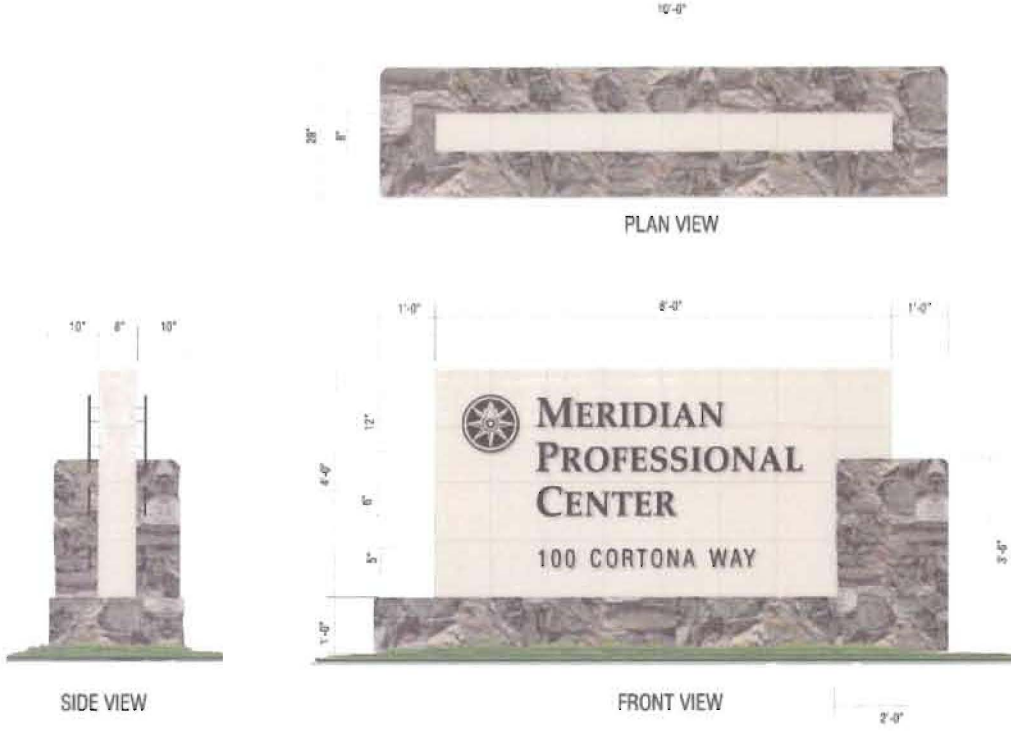
AXONOMETRIC

ELDERADO STONE VENEER - MESETA FIELDLEDGE WITH AN OVER-GROUT APPLICATION OVER A Poured CONCRETE OR CONCRETE BLOCK SIGN BASE, TYP.

EXTERIOR ILLUMINATION TO BE A CONCEALED SHADED, LIGHT FIXTURE WITHIN LANDSCAPING, BOTH SIDE OF THE MONUMENT.



3.7 Exhibit "F" – Free-standing Site Monument Sign (Meridian, pad 4)  
 (see 3.1 Exhibit Site Plan for location)



**OPTION 6B**

3/8" = 1'-0"

**MONUMENT BODY** - C.M.U. BLOCK WALL, CLAD WITH 12" X 12" LIMESTONE TILES  
**LOGO AND HEADER COPY** - ALUM. FCO'S, PAINTED DARK BRONZE, PEGGED OFF 1 1/2"  
**ADDRESS COPY** - ALUM. FCO'S, PAINTED DARK BRONZE, PEGGED OFF 1 1/2"  
**BASE** - FORMED CONCRETE (BY OTHERS), ELDORADO STONE VENEER MESETA FIELDLEDGE WITH OVER-GROUT APPLICATION.



**DSIGNART**  
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 http://www.dsignart.com

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**Project:**



**Meridian Property Company**  
 BRENTWOOD, CA

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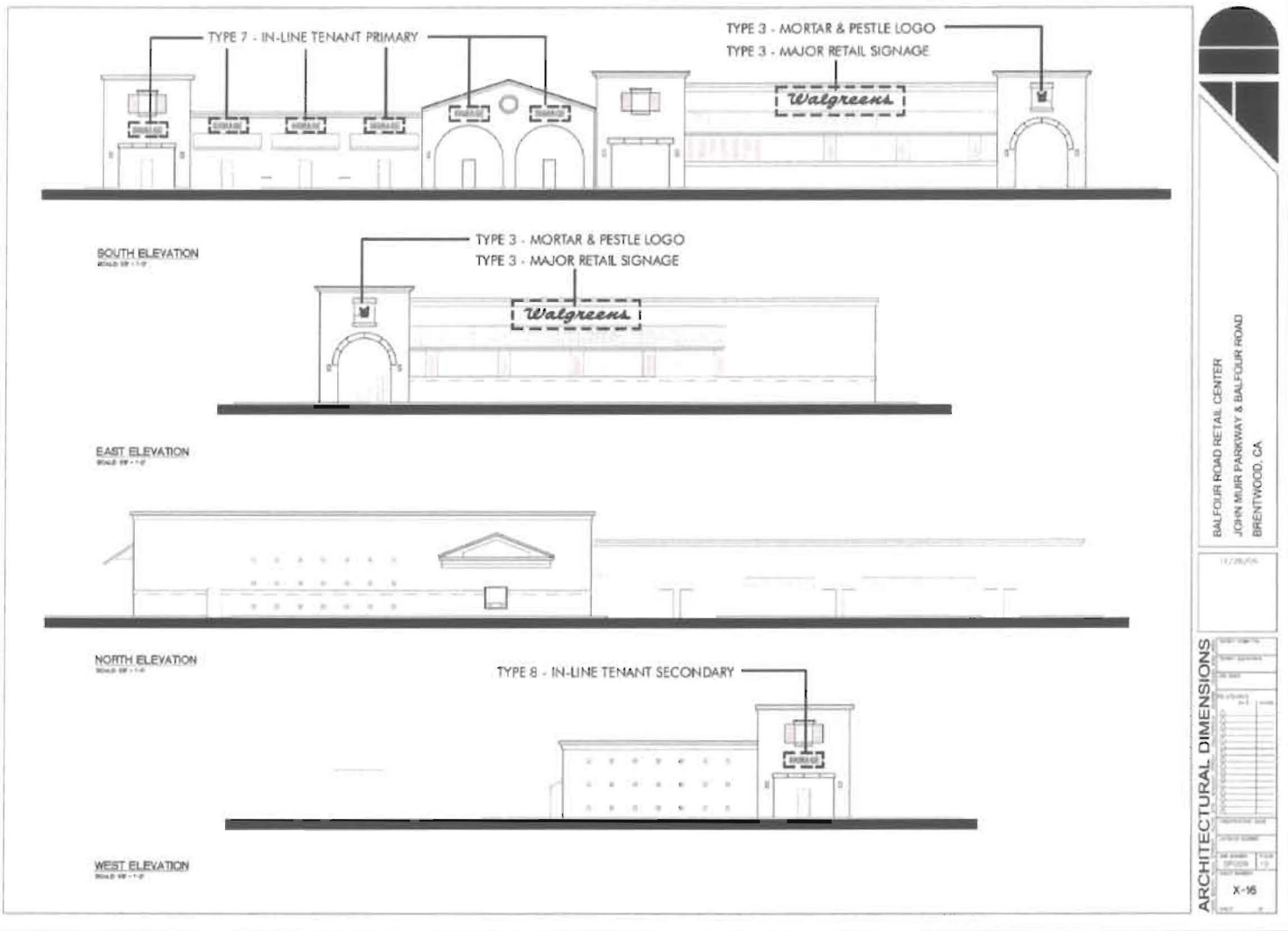
**Phase:**

- Conceptual
- Design Development
- Construction Drawing

---

**Date:** 8-18-05  
**Drawn by:** P.G.  
**Scale:** As Noted  
**Desig #:**  
**Revision:**  
**Title:**  
**Page #:** G.2

3.8 (A) Exhibit "G" – Major Retail Anchor Primary Signage  
 – In-line Tenant Primary and Secondary Signage



3.8 (B) Exhibit "G" – Walgreens Mortar and Pestle Logo Details

30"

27 1/2"

3"

**Walgreens #9102**

**FABRICATE AND INSTALL ONE (1) REVERSE CHANNEL HALO-LIT LOGO**

- \* ALUMINUM CONSTRUCTION WITH 3" RETURNS PAINTED PMS#281 DARK BLUE AND PMS#185 RED WITH WHITE VINYL APPLIED.
- \* HALO-LIT WITH 15MM WHITE NEON.
- \* CLIP MOUNT 3/4" OFF SURFACE OF FASCIA.

SCALE: 1 1/2" = 1'-0"  
© 2003 Fluoresco Lighting & Signs

COORDINATOR APPROVAL \_\_\_\_\_ PRODUCTION APPROVAL \_\_\_\_\_ GROUND DUE DATE \_\_\_\_\_

020 ALUMINUM KEELING  
 020 ALUMINUM FACES  
 DOUBLE BACK BOWTIE WITH SHIELDED Q70 LEADS FROM NEON TO TRANSFORMER  
 NEON  
 TUBE STANDS  
 CLEAR LEADON CLIPS  
 HEATING METHOD TO VARY AS PER BULL TYPE - MIN 8 PER LETTER  
 INCOMING FEEDWAY ISOLATED TO DISCONNECT SWITCH  
 TRANSFORMER IN WEATHERPROOF BOX MOUNTED PER IBC FASCIA OR IN SUPPLY AREA ADVISED PER OWNER IN THIS AREA  
 FLEXIBLE ALUMINUM CONDUIT WITH LOCKING COLLAR AND BRAD THRU CONDUIT - ALL WEATHERPROOF

WALGREENS #9102  
 BREKENTWOOD, CA  
 AS NOTED  
 11-16-05  
 FC-00088-05  
 This original unprinted drawing is submitted for use in connection with a project being designed for you by Fluoresco. It is not to be copied or reproduced in any form without the written consent of Fluoresco.

Since 1981  
**FLUORESCO**  
 LIGHTING & SIGNS  
 ARIZONA CALIFORNIA NEVADA



# SIENA VILLAGE

## 3.9 Exhibit "H" – Single User Pad or Single Tenant Buildings (pads 1, 4 and 5)



EAST ELEVATION (CORTONA WAY)

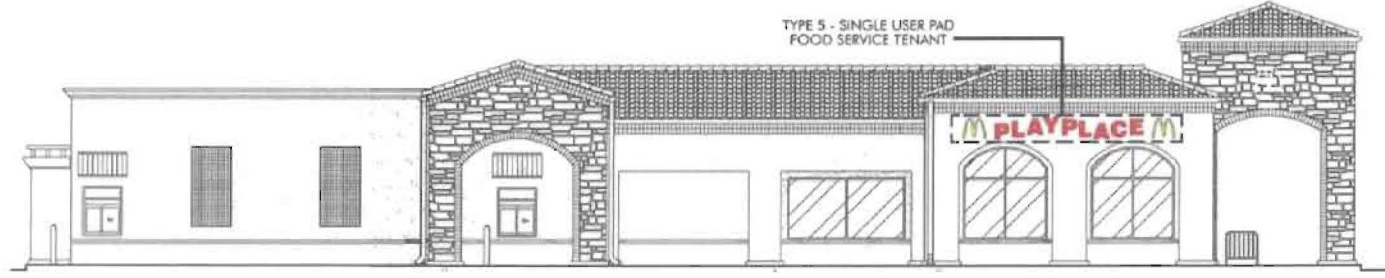


SOUTH ELEVATION (BALFOUR ROAD)

3.10 Exhibit "1" – Single User Pad Food Service Tenant (pad 2)



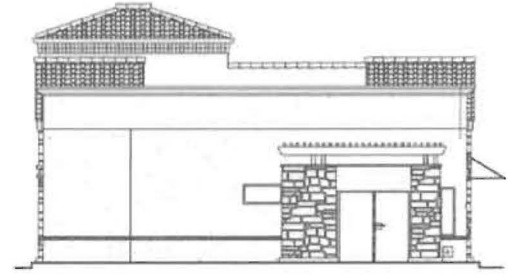
**EAST ELEVATION** *Driving North on Belleair*  
SCALE: 3/32" = 1'-0"



**WEST ELEVATION** *Driving East on Belleair*  
SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION - FRONT**  
SCALE: 3/32" = 1'-0"

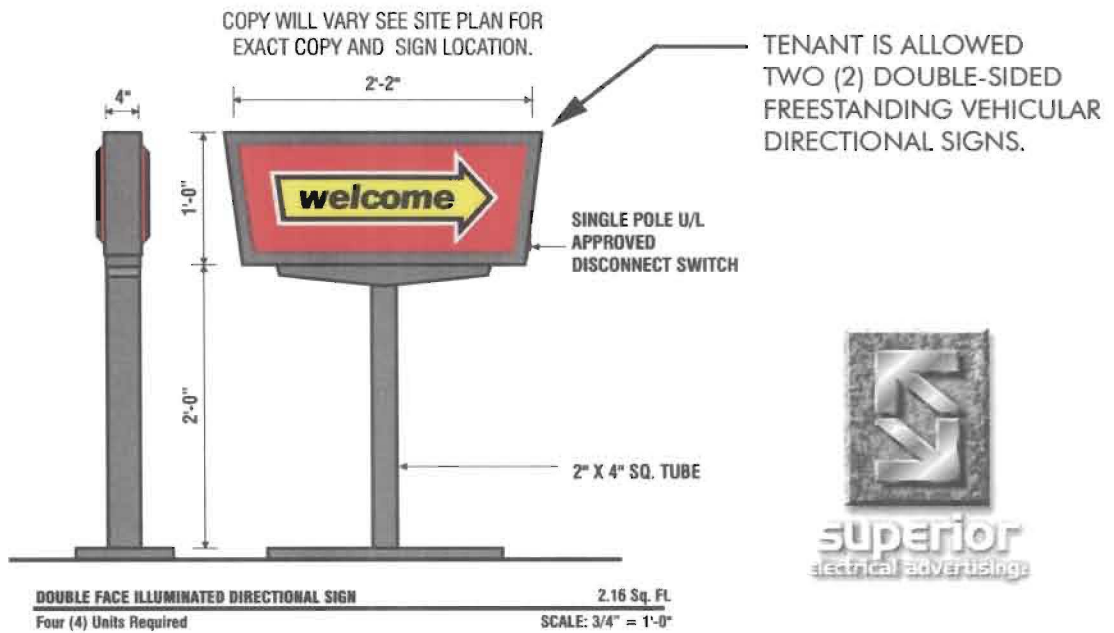
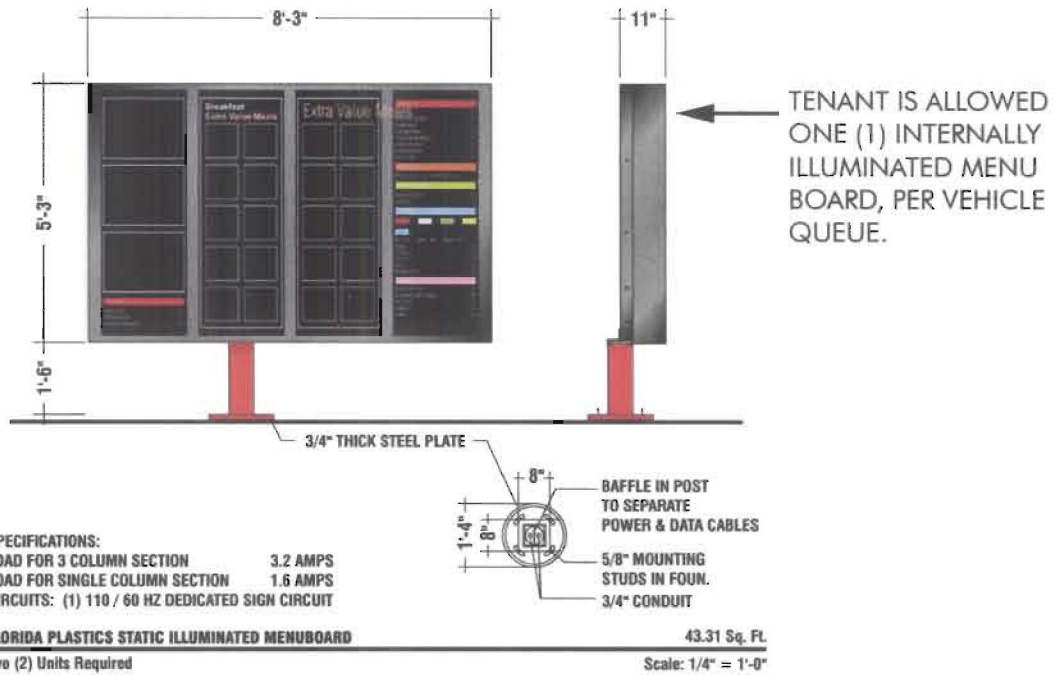


**NORTH ELEVATION - REAR**  
SCALE: 3/32" = 1'-0"



# SIENA VILLAGE

## 3.11 Exhibit "J" – Drive-thru Directional and Menu Board (pad 2)



3.12 Exhibit "K" – Single User Pad Gasoline/Auto Service Tenant (pad 3)



SOUTH ELEVATION (BALFOUR ROAD)



EAST ELEVATION (HIGHWAY 4)



EAST ELEVATION (HIGHWAY 4)

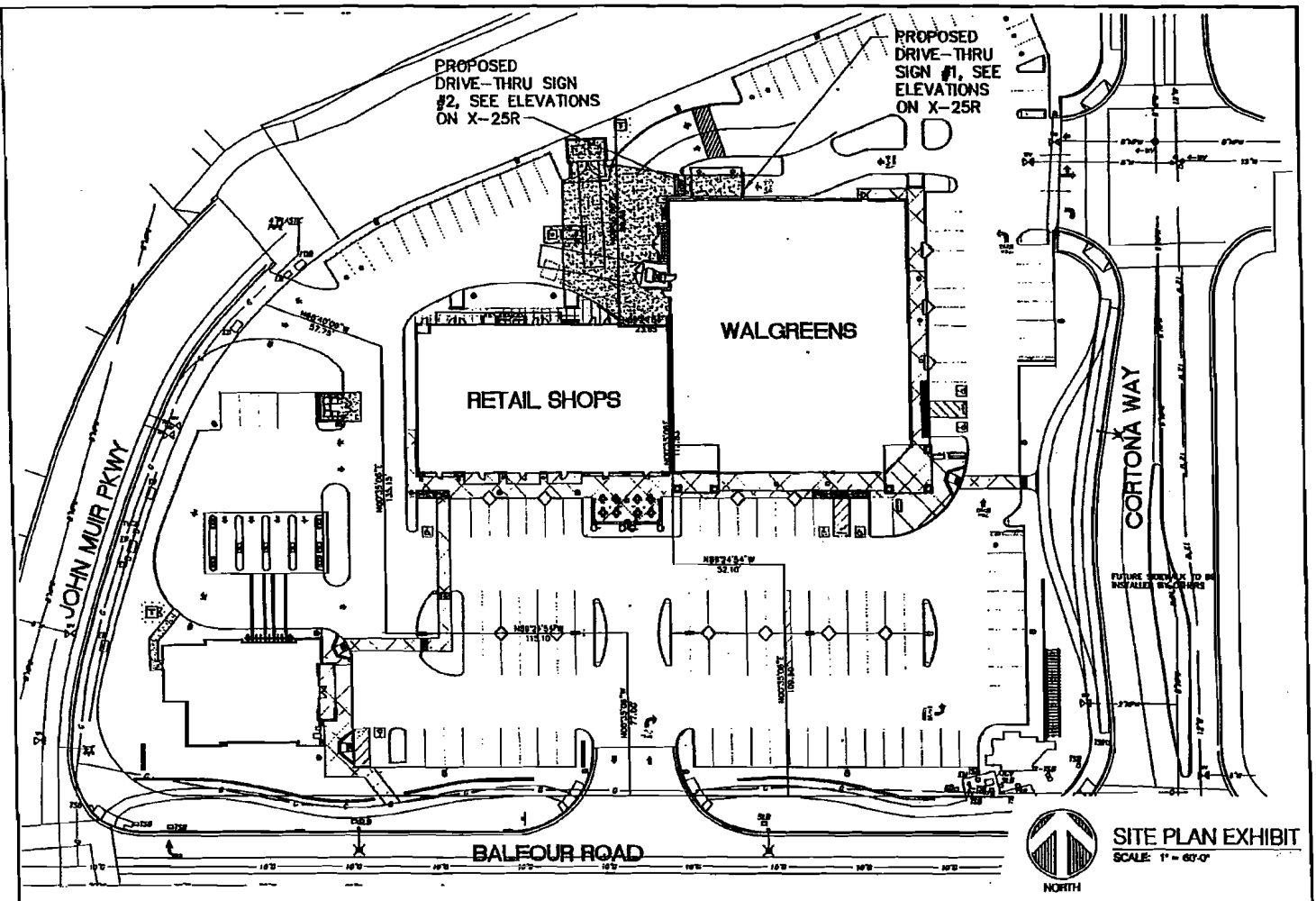


SOUTH ELEVATION (BALFOUR ROAD)



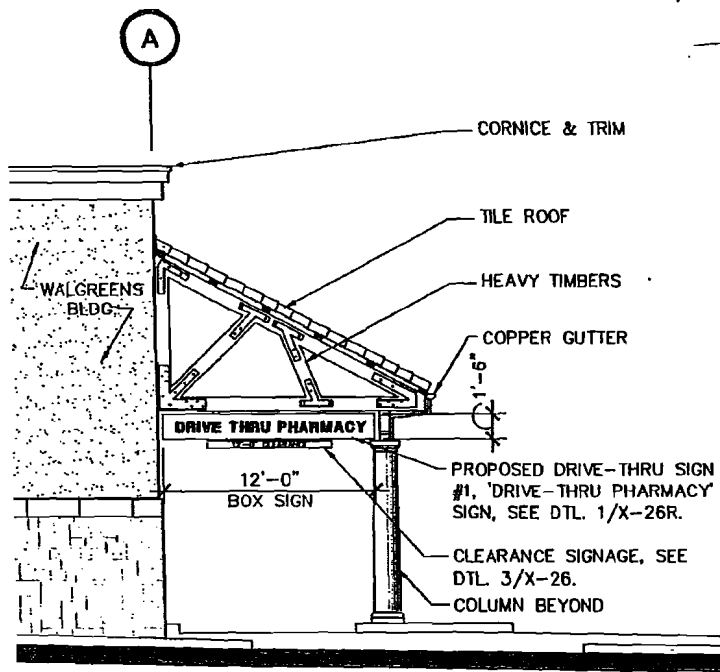
# SIENA VILLAGE

3.8 (C) Exhibit "G" - Walgreens Drive-thru Directional Signs Site Plan



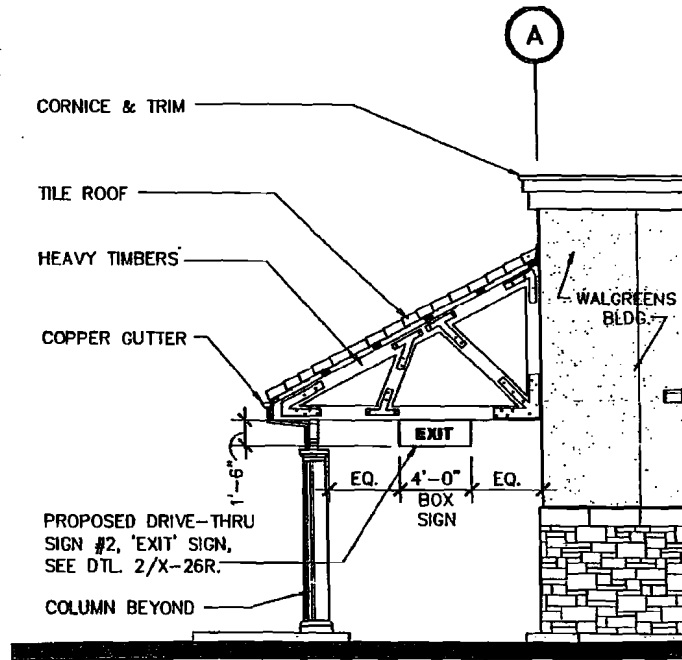
**SIENA VILLAGE**

3.8 (D) Exhibit "G" Walgreens Drive-thru Directional Signs Elevations



**PARTIAL EAST ELEVATION**

SCALE: 1/8"=1'-0" (WALGREENS BLDG.)



**PARTIAL WEST ELEVATION**

SCALE: 1/8"=1'-0" (WALGREENS BLDG.)

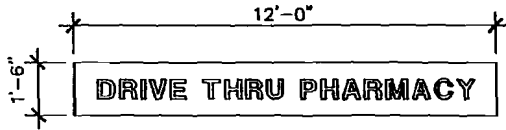
Master Sign Program

30

Date Revised 12.07.2006

<b>ARCHITECTURAL DIMENSIONS</b>	1400 S. Main Street, Suite 275 Walnut Creek, CA 94596-5341 TEL. 925.932.8651 • FAX. 925.746.8744	PROJECT INFO.  <b>BALFOUR RETAIL CENTER</b> JOHN BUIR PARKWAY & BALFOUR ROAD BRENTWOOD, CA	JOB NO. SP008	DRAWING NO. <b>X-25R</b>
			DATE 12/13/06	

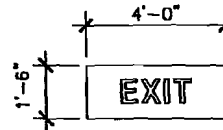
SIENA VILLAGE



SIGN SHALL BE ROUTED OUT ALUM. FACE PANEL BACKED WITH WHITE ACRYLIC DIFFUSER PANEL. SEE DTL. 4/X-26R FOR ADDITIONAL INFO.

"DRIVE THRU PHARMACY": 7" CAPITAL LETTER HEIGHT AND 10'-8" OVERALL LENGTH, HELVETICA MEDIUM COPY.

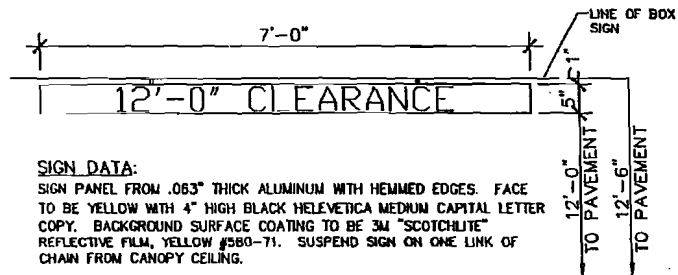
**1** ROUTED-OUT ALUM. BACKED SIGN DTL  
1/4"-1'-0" 18.0 S.F.



SIGN SHALL BE ROUTED OUT ALUM. FACE PANEL BACKED WITH WHITE ACRYLIC DIFFUSER PANEL. SEE DTL. 4/X-26R FOR ADDITIONAL INFO.

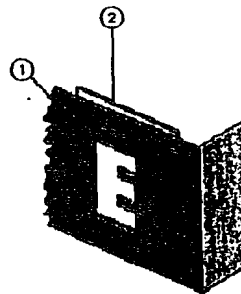
"EXIT": 8" CAPITAL LETTER HEIGHT AND 2'-0" OVERALL LENGTH, HELVETICA MEDIUM COPY

**2** ROUTED-OUT ALUM. BACKED SIGN DTL  
1/4"-1'-0" 6.0 S.F.

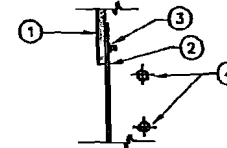


**SIGN DATA:**  
SIGN PANEL FROM .063" THICK ALUMINUM WITH HEWED EDGES. FACE TO BE YELLOW WITH 4" HIGH BLACK HELVETICA MEDIUM CAPITAL LETTER COPY. BACKGROUND SURFACE COATING TO BE 3M "SCOTCHLITE" REFLECTIVE FILM, YELLOW #580-71. SUSPEND SIGN ON ONE LINK OF CHAIN FROM CANOPY CEILING.

**3** CLEARANCE SIGN  
SCALE: 1/2"-1'-0"



#	Description
1	Face Panel with Routed-out copy
2	3/16" white Acrylic Diffuser
3	1/8" Threaded Stud
4	Fluorescent Lamps



**4** TYP. SHOW THRU LETTER SIGN  
N.T.S

<b>ARCHITECTURAL DIMENSIONS</b>	1600 S. Main Street, Suite 275 Walnut Creek, CA 94596-5341 TEL. 925.932.8651 • FAX. 925.746.8744	PROJECT INFO.	<b>BALFOUR RETAIL CENTER</b> JOHN MUIR PARKWAY & BALFOUR ROAD BRENTWOOD, CA	JOB NO. <b>SP009</b>	DRAWING N° <b>X-26I</b>
				DATE <b>12/13/06</b>	

# SIENA VILLAGE

## Part 4.0 - Submittal Requirements

### 4.1 Design Submittal

All sign concepts are to be generated by a professional graphic designer and submitted to Owner/developer for approval, prior to any concept development of any signage.

### 4.2 Signage Approval

#### **Owner/developer Approval:**

- Each tenant shall submit three (3) full color copies or pdf's of detailed signage drawings. These drawings shall indicate size, location, copy layout, materials, color, illumination, method of attachments and lighting specifications. At the request of the Owner/developer, color and material samples must be provided. All of the color and material samples may be subject to approval in the field by Owner/developer. The plans must include the building elevation, location of signage on the building, a site plan indicating the location of the building within the project and construction specifications and details of the proposed signage.
- If the submittal to the Owner/developer is not acceptable or incomplete in any way, they must be resubmitted.
- If and when the plans are approved by the Owner/developer, one (1) set will be retained by the Owner/developer, one (1) set will be returned to the submitting tenant and one (1) set will be submitted to the City of Brentwood, by the tenant, along with a letter of approval from the Owner/developer with any conditions of approval, if any.

#### **City of Brentwood Approval** (Community Development Department):

All new signs that are proposed within the city limits of Brentwood must be reviewed by the Community Development Department to verify conformance with the Siena Village Master Sign Program and City of Brentwood signage guidelines.

### 4.3 Drawing Submittal Requirements

Processing time for the City of Brentwood is normally two (2) to three (3) weeks.

#### **Procedure:**

The City will accept no applications unless the following information is submitted to the satisfaction of the Community Development Department:



## SIENA VILLAGE

1. One (1) copy of the completed application and filing fee
2. Three (3) copies of sign plan drawn to scale indicating:
  - a. Dimensions of proposed sign(s) - height, width, area
  - b. Dimensions of any existing sign(s) to be retained
  - c. Materials
  - d. Colors
3. Three (3) copies of site plan drawn to scale indicating:
  - a. Property lines
  - b. Building location(s) and setbacks
  - c. Location of existing sign(s), if retained
  - d. Building and street frontage dimensions
  - e. Building and property entrances
  - f. Location of adjacent buildings, if applicable
  - g. Vicinity map
  - h. Project name
  - i. Elevation at base of sign and adjacent street elevation  
(freestanding signs only)
  - j. North arrow
4. Three (3) copies of building elevations (wall signs only) drawn to scale indicating:
  - a. Location of proposed and existing signs
  - b. Building material and color
  - c. Orientation of elevation (east, west...)

In addition to these requirements, all tenants shall provide all mounting details for signage proposed. All electrically illuminated signage shall require an electrical permit. Tenant must provide materials and color samples if requested by the City of Brentwood. The materials and colors may be subject to approval in the field by the City of Brentwood. The tenant must submit revised set of plans until approval is obtained. A full set of final shop drawings must be approved and stamped.

### 4.4 Permits

After Owner/developer's approval of tenant sign shop drawings, the tenant is responsible for submitting sign plans, to be signed by the Owner/developer, and applications for all permits for fabrication and installation by the tenant's sign contractor. Once tenant has obtained all the permits, the tenant must furnish copies of all permits to the Owner/developer prior to installation of tenant's sign. Fabrication and installation of all signs must be in conformance to these guidelines within the sign program. Signs shall be inspected after

# SIENA VILLAGE

installation is complete to ensure conformance with the guidelines. Any work deemed unacceptable shall be corrected or modified at the tenant's expense, as required by the Owner/developer.

## Part 5.0 - Construction Requirements

### 5.1 General

All signs shall be designed in such a way that they may be erected, altered, illuminated, moved and/or maintained as a whole or in parts and still be in accordance with the provisions set forth in these provisions and any or all applicable codes and ordinances.

All signs must meet the requirements set forth by the Siena Village Master Sign Program and must have approval from the Owner/developer:

The Owner/developer is not responsible for checking on compliance *issues* with local codes/ordinances or the safety of signs, but only for aesthetic compliance with this sign criteria and its intent.

All signs shall be installed in conjunction with specific site development, such that no off-site signs are allowed.

No A-frame or other small portable signs shall be permitted on-site or in the adjacent right-of-way.

### 5.2 Fabrication Requirements

- A professional that produces excellent quality and workmanship shall complete the fabrication of all signs.
- All logo images and typestyles shall be produced and portrayed accurately. Lettering that approximates typestyles will not be allowed. Owner/developer reserves the right to reject any fabrication work deemed to be below standards or unacceptable.
- All formed letters shall be constructed with "full-weld" joints, ground to a smooth finish.
- The joining of materials shall appear to be unnoticeable. Visible welds shall be ground to a smooth finish. Screws, rivets and all other fasteners shall be flush, filled and finished.
- A non-conductive gasket(s) to prevent electrolysis must separate metals that are dissimilar. Also, stainless steel fasteners must be used to secure

## SIENA VILLAGE

ferrous to non-ferrous metals.

- Threaded rods or anchor bolts shall be used in connecting letters to building in order to space out the sign panel to the wall surface. The rods or bolts must be painted to match the color of the building to blend in. Using angled clips are not acceptable.
- Finished surfaces of metal shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and have a uniform surface conforming to the highest level of industry standards.
- Signs must be made of durable non-rusting materials that are suited and complimentary for the Siena Village development.
- The paint colors and finishes must be reviewed and approved by the Owner/developer. Actual colors and materials applied to the signs must match exactly what was approved on the shop drawings.
- In no case shall the manufacturer's label or any other type of product information/label be visible from the street or normal viewing angles.
- All lighting must be exactly what was signed and approved by the Owner/developer and the City of Brentwood, specified within the shop drawings.
- All raceways, conduit, crossovers, wiring, ballast boxes, transformers and all other equipment needed for sign connections must be concealed from view.
- Fabrication and installation of electrical signs must comply with UBC; NEC and other local building and electrical codes. Underwriter's Laboratory-approved labels shall be affixed to all electrical fixtures to be installed.
- Any penetrations into the building walls, where required, must be made waterproof by the sign contractor and finished to blend in with existing wall conditions.
- The sign contractor for review and approval must indicate any opening for conduit sleeves or sign supports on the shop drawings by the Owner/developer. Sign contractor shall install to the exact specifications found within the approved shop drawings.