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CITY OF BRENTWOOD
COMMUNITY DEVELOPMENT DEPT

2010 Elkins Way *at Sunset Industrial Park*

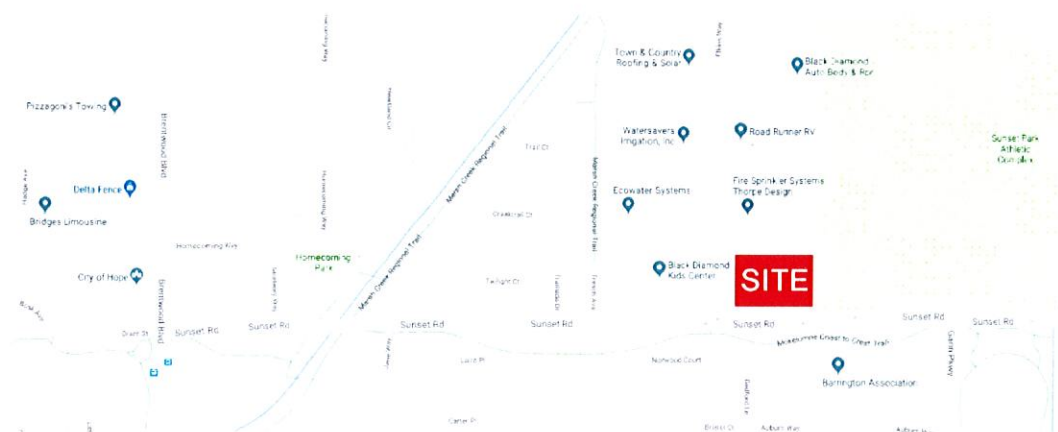
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APPROVED
 City of Brentwood
 Planning Division
 5/21/19
 File #MSP19-001
 C.Rogers
Resolution #19-015

Master Sign Program

February 20, 2019



Owner:
 Brentwood Sunset 2010, LLC
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FILE# MSP19-001



FRONT ELEVATION

Introduction

The 2010 Elkins Way Sign Program has been established for the purpose of assuring professional visual graphics, imagery and communications designed to mutually benefit the Community, building tenants and their customers. The intent is to provide sign guidelines and criteria that are necessary to achieve a visually harmonious environment. For the purpose of this sign program the term “Building” refers to 2010 Elkins Way at Sunset Industrial Park. The term “Owner” refers to Brentwood Sunset 2010, LLC.

BUILDING IDENTIFICATION SIGNS

For any sign criteria and requirements which are not specifically delineated in the program below, refer to the City of Brentwood Municipal Code, Chapter 17.640 Signs and the City of Brentwood Commercial and Industrial Design Guidelines for Signage.

The intent of the primary Building identification signing is to:

1. Clearly identify the building in a compatible design with the guidelines to follow.
2. Adequately define the building and tenant’s identity.

TENANT SIGNAGE

The design of the tenant signing clearly identifies individual businesses to vehicular and pedestrian traffic at the site.

The design allows for individual trade/trademark style graphics within a uniform controlled and harmonious sign plan. This benefits all tenants equally throughout the building without visually dominating the architectural environment.

OTHER SIGNAGE

1. Provide guidelines for site signage, addressing and temporary signage.

The following pages describe the overall sign program as well as the specifications for individual signs and graphic elements to be used throughout the project.

General Criteria

Conformation to the criteria and guidelines for the Building Sign Program will be strictly enforced. Any non-conforming or unapproved signing installed by the Tenant is not permitted and shall be brought into conformance at the tenant's expense. Only the signs described in this document are permitted in, on and within 2010 Elkins Way.

The Owner and City of Brentwood must approve any changes to the Building Sign Program. Accordingly, the Owner must make any applications to the City of Brentwood for revisions to the Building Sign Program.

CRITERIA

A. REQUIRED SIGNS

Tenant shall provide a minimum of one primary business identification sign per tenant space with a public entrance.

Tenant's sign shall conform to the sign sizes and locations designated for its storefront area in this Criteria.

B. PROCEDURES FOR SIGNAGE APPLICATION

The Owner shall provide the Tenant the criteria (herein) for Building Sign Program.

To obtain sign approval from Owner each applicant shall submit the following:

1. Submit to Owner a completed sign approval application at the noticed address as stated in the fundamental lease provisions.
2. The completed City of Brentwood Sign Review Application form as required by the City of Brentwood.
3. Two copies of scaled drawings, one of which will be colored, including all lettering and graphic diagrams and specifications for colors, construction, materials, illumination and installation. Cross-section details shall also be shown in scale along with relevant site, plot and elevation plans.

One set of approved plans and City of Brentwood application will be returned by the Owner to the Tenant.

4. City of Brentwood approval is required for signs. Verify submittal requirements with city.
5. All exceptions to the sign criteria shall be reviewed by the Brentwood Planning Department. Exceptions may require review by the Planning Commission.

C. CITY OF BRENTWOOD SIGN & BUILDING PERMITS

All permits required for signing installation shall be obtained by the applicant, or his agent, at the applicant's expense.

The applicant shall be responsible for the fulfillment of all requirements and specifications contained in the sign program and by the City of Brentwood City Sign Ordinance.

D. SIGN CONTRACTOR

Any sign contractor performing work for any Tenant shall have an applicable State of California Contractor's License.

The Owner reserves the option to exclude any sign contractor from performing work on the site or building.

E. INSURANCE

Sign contractors shall carry *WORKER'S COMPENSATION AND PUBLIC LIABILITY INSURANCE* against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs in an appropriate amount as required by the Owner and City of Brentwood.

Contractor and Tenant shall indemnify the Owner from any damages that may arise from the installation, maintenance or use of tenant's sign.

F. SIGN MAINTENANCE

Tenant is responsible for the maintenance and repair of their signs and lighting. The Tenant shall keep the sign and its lighting in good appearance and proper operating condition, at all times.

G. SIGN REMOVAL AT TENANTS VACATION OF SPACE

At the time a Tenant vacates their space, the Tenant is to remove their sign and patch and repair the surfaces to which the signs were installed back to the original condition of the surface (color to match existing conditions). This removal and repair is at the Tenant's expense.

If the Tenant fails to remove their sign and patch and repair the surfaces to which the signs were installed back to the original condition of the surface, the Owner will have such work performed and back charge the Tenant for the cost of the work.

H. TENANT SIGN HOURS OF SIGN OPERATION

Hours of sign illumination shall be consistent with the operation of the building and as stated in the lease. Illumination shall be controlled by the building's central lighting control system and photocell (existing, stubbed to sign location).

I. The Owner's RIGHT OF REFUSAL

The Owner reserves the right to refuse acceptance of any design for aesthetic compliance to theme of the Building, or for any reason whatsoever.

J. TEMPORARY TENANT SIGNAGE

Temporary signs for grand openings or change of ownership will be allowed with the approval of the Owner and City of Brentwood.

A banner permit is required from the City of Brentwood. The city's ordinance states that business opening signs and banners must be removed 30 days after installation.

K. LEASING SIGNS

All leasing and “For Rent” signs, throughout the entire Center, are under the direct control of the Owner.

Leasing signs shall conform to the City of Brentwood Sign Ordinance.

L. CODES

All signs and their installation are to meet all applicable electrical, structural and building codes, conforming with local municipal codes.

M. OWNER EXCEPTIONS AND SUBSTITUTIONS

The owner may approve a proposed sign on the building provided it meets the City of Brentwood Sign Ordinance. A proposal including shop drawings produced by a Sign Professional shall be provided to the Owner for review in advance of installation.

SIGN CRITERIA

A. ELECTRICAL & ILLUMINATION

1. Sign illumination shall not include flashing, moving or audible effects.
2. Exposed conduit or tubing will not be permitted, except as may be approved by the Owner and City of Brentwood.
3. All Exterior Lighting shall be LED type unless expressly authorized in writing by the Owner. In Addition, such exception shall also be in conformance with the City of Brentwood Sign Ordinance.
4. All conductors, transformers and other equipment shall be concealed.
5. Primary electrical service to all signs shall be placed on tenant’s meter and shall be part of tenant’s construction and operating costs. Time and photocell control is provided by the central building control system, and has been stubbed to sign locations.
6. Electrical components shall bear the Underwriter’s Laboratories (UL) label of approval, or equal, and shall also comply with all local building and electrical codes and industry standards and practices.

B. CONSTRUCTION

1. All bolts, fastenings, clips, conduit, etc., shall be hot-dipped galvanized iron or equal, stainless, aluminum, brass or bronze. Where externally mounted, all items shall be painted to match the exterior colors of the surfaces mounted thereon.
2. All manufacturers/installers are advised that prior to final acceptance, each unit may be inspected for conformance by authorized representative of the Owner. Any signs found not to be in conformance will be rejected and removed immediately by the Tenant or Tenant's contractor at the Tenant's expense.
3. Fabricated metal letters with paint finish or natural finish (i.e. stainless steel, bronze, etc.). Primary letters shall be raised letters pin mounted halo-illuminated with internal neon or LED. Raised letters to have Aluminum returns, butt-welded to aluminum faces. No exposed raceway or electrical connections. Weep holes are to be baffled to prevent light leaks. Secondary letters are non-illuminated pin mounted or surface mounted dimensional letters to aluminum panel.
4. No substitutes will be accepted by the Owner whatsoever, unless so indicated in the specifications and approved by both Owner and City of Brentwood.

C. INSTALLATION

1. Locations of signs: All signs or advertising devices advertising an individual use, building, or business shall be attached to the building at a location, described herein, or in attached drawings.
2. All penetrations of the building structure and raceway required for sign installation shall be neatly sealed and continuously maintained in watertight condition.
3. Attachments of signs to building shall be made per specifications contained herein.
4. Tenant's sign contractor shall repair any damage to the building caused by sign installation. Un-repaired damage caused by Tenant's sign and/or sign contractor, shall be Tenant's responsibility to correct at Tenant's expense. Tenant shall be fully responsible for the operations of Tenant's contractor.
5. Tenant's sign contractor must secure building permits. Fabrication and installation must comply with all local building and electrical codes.
6. All contractors must be fully licensed (California Contractors License C-45), and must provide the Owner with a certificate of liability insurance prior to commencing any work on the property.

D. TENANT COPY

1. All Tenants signing shall be combined to consist solely of the Tenant's trade name, logo and recognizable trademark insignia. Sign copy shall not include products or services except as it may legally be part of the Tenant's trade name, logo and recognizable trademark insignia.
2. All signing shall have the written approval of the Owner in each case.

E. SIGN COLORS

1. Sign colors and the entire display shall be approved by the Owner.
2. Colors may conform to the Tenant's color scheme; however, they shall consist of primary colors. No fluorescent or "day glow" colors permitted.
3. The Owner reserves the right to not allow colors to be used that are inconsistent with the building colors and overall theme colors of the Center.

F. WARRANTY

The entire display shall be guaranteed by fabricator/installer for 5 years against defects in material and workmanship. Defective parts, displays or installation shall be replaced or repaired without charge to the Owner. All lamps, tubes, ballasts and transformers are excluded, but such parts will be unconditionally guaranteed and replaced without charge for a period of 90 days from date of installation.

G. PROHIBITED SIGNS

1. Animated or moving signs.
2. Inflatable signs, displays and exhibits.
3. Paper, cardboard, foam board, decals.
4. Interior illuminated store signs that are visible through windows, unless approved by the Owner.
5. Roof mounted signs.
6. Freestanding easel or sandwich board type signs, unless approved by the Owner.
7. Painted signs directly on walls or windows.
8. Signs, which advertise a product or service that is not available on the premises.
9. Exposed neon and signs that are illuminated with or contain exposed light.
10. Signs placed on or in vehicles parked primarily for the purpose of displaying the sign.
11. Signs mounted on windows, except as specifically described herein.
12. No manufacturer labels to be visible on signs except those required by code or ordinance and those are to be located on the sign so as not to be visible from the street or walkway.
13. No signage allowed on roll-up doors.
14. No signage or banners allowed on awnings.

No window signs per Reso19-015.

2010 Elkins Way at Sunset Industrial Park

Sign Type Descriptions

MONUMENT SIGN SIGN S1

This sign provides formal identification to the Building at the front of the site.

LOCATION:

SIGN CONTENT: Complex name, and name identification of each building and Tenant of complex.

SIGN DESCRIPTION& CONSTRUCTION:

COLOR: Black raised letters on aluminum plate.

SIZE: Maximum Area: 75 square feet
Maximum Length: 10 feet
Maximum Height: 8 feet
Maximum Thickness: 18 inches

NOTE: Tenant is required to provide monument signage plaques consistent with the design requirements of that sign. The Owner for details.

ILLUMINATION: Halo illumination is preferred. Individual channel letters with interior neon and acrylic face and reverse channel letters with neon halo back lighting may also be utilized. All raceways and other connections to be concealed.

BUILDING:
Anchor Tenant Wall and Fascia Signs
SIGN A-1

Anchor Tenant is defined as a tenant that occupies equal to or greater than 5,000 square feet of this particular building.

LOCATION: See Exhibits.

SIGN CONTENT: Limit to the name of Anchor tenant business.

SIGN DESCRIPTION: Individual letters or neon designs mounted on the wall face or on a backing material or rail applied to the building façade. Letters, logos, backgrounds and other sign elements may not be painted directly onto building walls.

COLOR: Primary colors: White, Black or natural metal finish, with the exception of Corporate logos to be approved by the Owner and City of Brentwood.

SIZE: Wall signs must fit within a *Signable Area* not to exceed 15% of the building facade.

Maximum sign area: 60% of the *Signable Area as located and dimensioned on the Building (See Exhibits)*
Maximum sign width: 75% of the *Signable Area as located and dimensioned on the Building (See Exhibits)*
Maximum sign height: 2/3 height of *Signable Area as located and dimensioned on the Building (See Exhibits)*
Maximum letter height: 36"

ILLUMINATION: Halo illumination is required. Individual channel letters with interior neon and acrylic face and reverse channel letters with neon halo back lighting may also be utilized. All raceways and other connections to be concealed.

BUILDING:
SIGN A-2
Tenant Storefront Wall and Fascia Signs

Tenant is entitled to one of the type of signs identified to the bay assigned. (See Elevations for Signage Locations)

If a tenant occupies more than 5,000 square feet, they may be allowed to have two signs. Additional signs may be allowed on a case by case basis in conformance with the City of Brentwood Sign Ordinance and this Master Sign Program. Proposals for any additional signs shall be presented to the Owner for their review and approval.

LOCATION: Building surface above tenant storefront windows. See Exhibits.

SIGNABLE AREA: See Exhibit. Please note that all areas depicted in the exhibits show all available areas and does not depict or assume that all the areas shown would have signage. In addition the Master Sign Program requirements, all signage areas shall be in conformance with the City of Brentwood Sign Ordinance.

SIGN CONTENT: Limit to the name of business.

SIGN DESCRIPTION: Individual letters or neon designs mounted on the wall face or on a backing material or rail applied to the building façade. Letters, logos, backgrounds and other sign elements may not be painted directly onto building walls.

SIGN CONSTRUCTION: Fabricated metal letters with paint finish or natural finish (i.e. stainless steel, bronze, etc.). Primary letters are raised letters on aluminum panel or halo-illuminated with internal neon. Aluminum returns, butt-welded to aluminum faces. No exposed raceway or electrical connections. Weep holes are to be baffled to prevent light leaks. Secondary letters are non-illuminated pin mounted or surface mounted dimensional letters to aluminum panel.

COLOR: Primary colors: White, Black or natural metal finish, with the exception of Corporate logos to be approved by the Owner and City of Brentwood.

SIZE: Wall signs must fit within a *Signable Area* not to exceed 15% of the building façade of the tenant space.

Maximum sign area: 60% of the *Signable Area as located and dimensioned on the Building (See Exhibits)*
Maximum sign width: 75% of the *Signable Area as located and dimensioned on the Building (See Exhibits)*
Maximum sign height: 2/3 height of *Signable Area as located and dimensioned on the Building (See Exhibits)*
Maximum letter height: 24"

ILLUMINATION: Halo type illumination is required. Individual channel letters with interior neon and acrylic face and reverse channel letters with neon halo back lighting may also be utilized. All raceways and other connections to be concealed.

BUILDING:

SIGN A-3

Tenant Window Signs

No window signs per Reso19-015.

Tenant is entitled to one of the type of signs identified to the bay assigned. If a tenant occupies more than one bay, they only receive one sign.

LOCATION: Placed on the window, second panel up from grade. Not permitted on entry doors. See Exhibits.

SIGN CONTENT: Limit to the name of business, tenant logo, or special design graphic.

SIGN DESCRIPTION: Individual vinyl letters professionally painted individual letters and designs, individual letters and designs, neon tubing mounted on clear backing material.

COLOR: Primary colors: White, Black or natural metal finish, with the exception of Corporate logos to be approved by the Owner and City of Brentwood.

SIZE: Maximum Area: 25% of any single window area with no more than 15% of the aggregate frontage window area. Any signs located within five feet of the window will be considered a part of the window signage.
Maximum letter size: 12 inches

ILLUMINATION: None

No window signs per RESO 19-015

SIGN TYPE – C-1 Tenant Miscellaneous Window Signs

Certain miscellaneous signs will be permitted on storefront windows. These consist of credit card decals, hours of operation and selected other instructional information, such as phone numbers to be called in case of emergency. See window signs for additional criteria.

LOCATION: Credit card decals, hours of operation and selected other instructional information, such as phone numbers to be called in case of emergency are to be placed only on the window immediately adjacent to the left or right side of the entrance door. See Exhibits.

SIGN CONTENT: Any text or message beyond hours of operation, credit cards honored and emergency information will require landlord approval prior to installation.

SIGN DESCRIPTION: The credit card decals shall be only those that are provided by the credit card company. Hours of operation and emergency information shall be stylus cut vinyl letters reversed cut and installed on the inside of the glass.

COLORS: Decals are per “company’s colors” and vinyl letters are white.

SIZE: No larger than 1.5 square feet. Lettering shall be in a size no larger than 1” cap. height.

ILLUMINATION: None

SIGN TYPE Tenant Promotional Window Signs

Certain promotional signs will be permitted which are visible through storefront windows. These consist of promotional messages related to sales and other specific store events. These signs are considered temporary and shall be permitted for 30 consecutive days and for no more than a total of 60 calendar days per calendar year.

LOCATION: Within the tenant’s premises and only on the glass as designed by C-1 on elevation exhibits.

SIGN CONTENT: Any text or message subject to landlord’s approval prior to installation.

SIGN DESCRIPTION: No permanent materials

COLORS: Any primary color. No fluorescent or “day glow” colors permitted.

SIZE: As designed on elevation exhibits

ILLUMINATION: None

NOTE: All temporary signs are to be approved by the Owner prior to installation.

SIGN TYPE – R-1
Building Systems

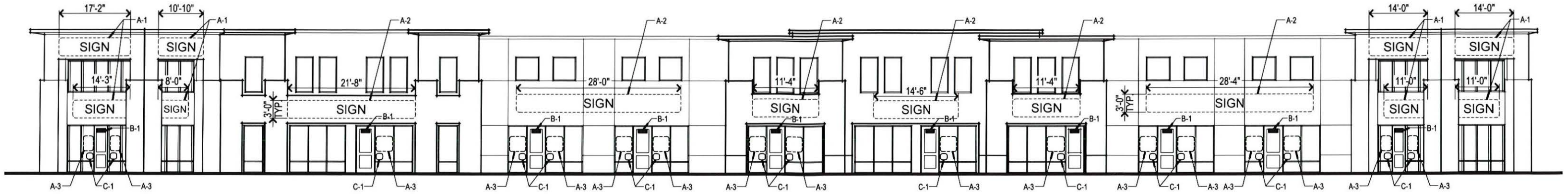
LOCATION: Man doors, access panels and/or other required signage by local governmental agencies shall be installed centered at the top of the man door. See Exhibits.

SIGN CONTENT: Fire Riser Room, Electrical Room, etc in Nuetraface type style or owner approved.

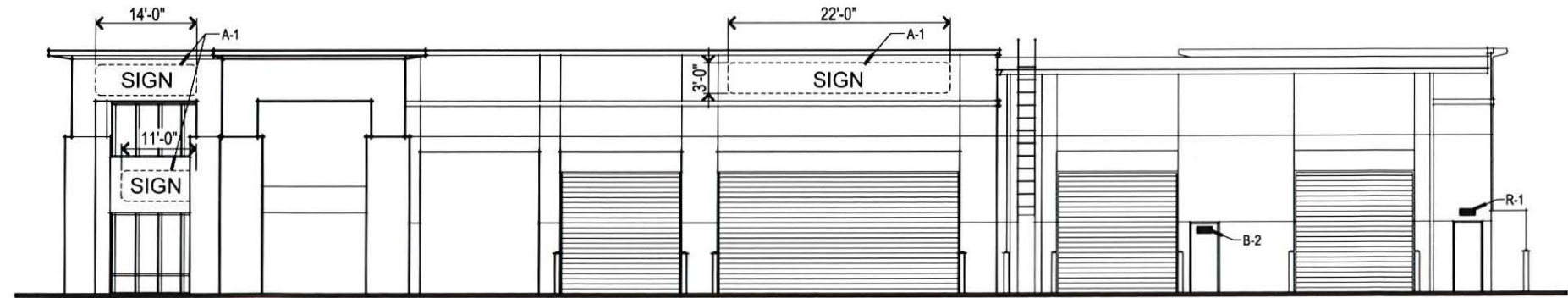
SIGN DESCRIPTION: Stylus cut vinyl numbers, right reading. First surface applied.

COLORS: White gloss vinyl

SIZE: 3"-6" high



FRONT ELEVATION



RIGHT ELEVATION

 ALLOWED SIGNAGE AREA

 ALLOWED SIGNAGE AREA



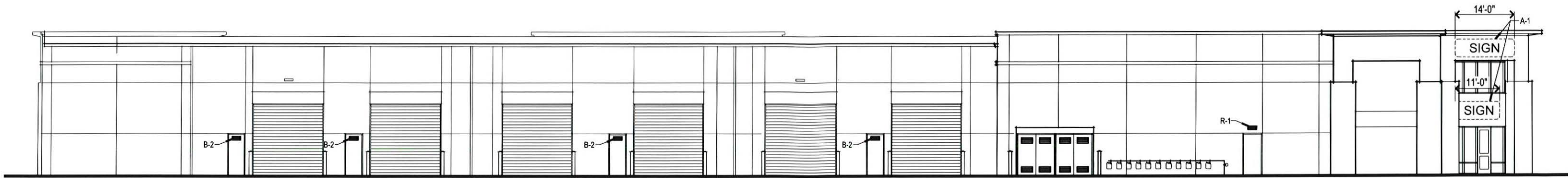
2010 Elkins Way - Fitness Center
 Brentwood, Ca
 February 20, 2019

MASTER SIGN EXTERIOR ELEVATIONS

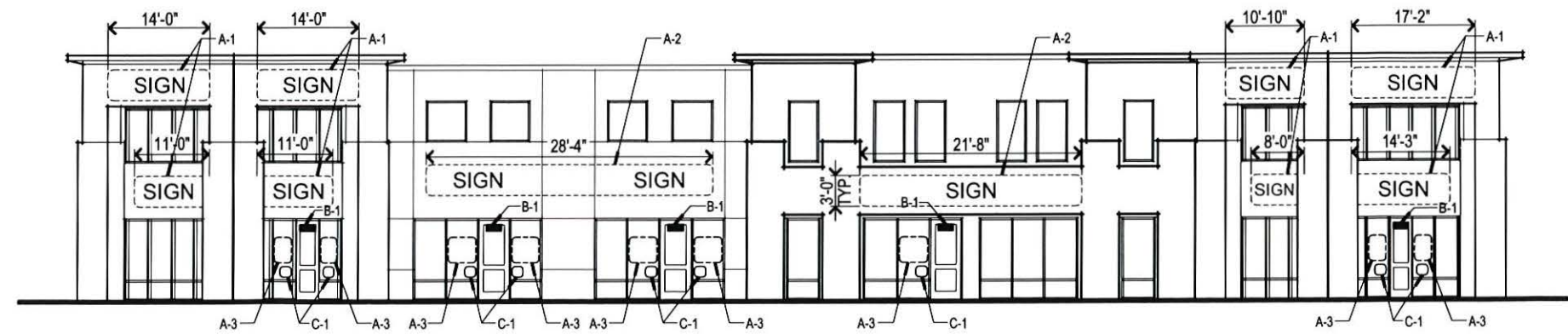
MS-1

SDG Architects, Inc.
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 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com





REAR ELEVATION



LEFT ELEVATION

 ALLOWED SIGNAGE AREA

 ALLOWED SIGNAGE AREA



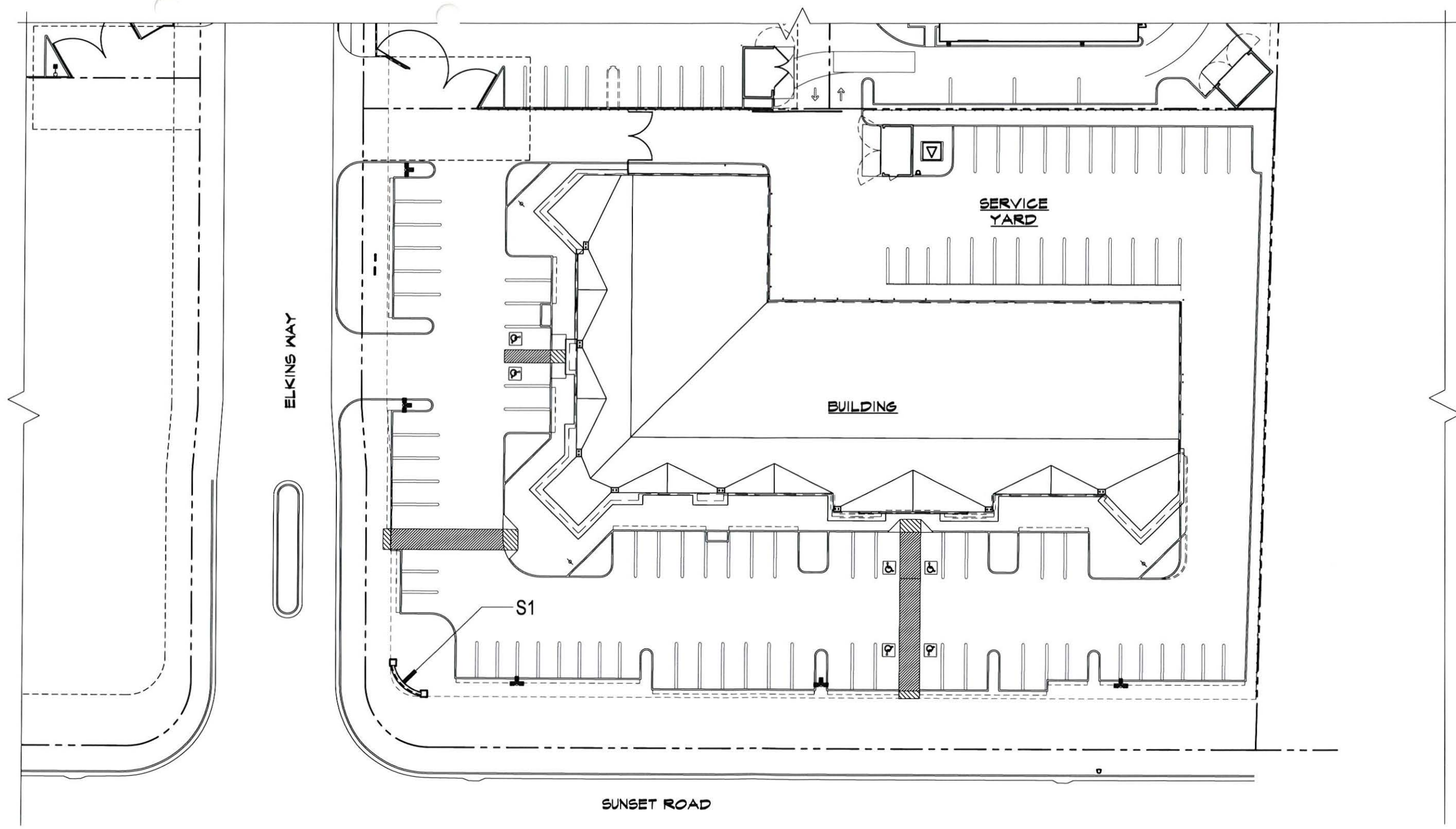
MASTER SIGN EXTERIOR ELEVATIONS

MS-2

2010 Elkins Way - Fitness Center
 Brentwood, Ca
 February 20, 2019

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MONUMENT SIGN LOCATION

PLANNING COMMISSION RESOLUTION NO. 19-015

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRENTWOOD APPROVING A MASTER SIGN PROGRAM (MSP 19-001) FOR THE SUNSET INDUSTRIAL PARK BUILDING, ON 2 ACRES LOCATED AT 2010 ELKINS WAY (APN 018-200-020)

WHEREAS, on February 28, 2019, Brentwood Sunset 2010, LLC (the "Applicant") submitted an application requesting that the City approve a Master Sign Program application for the installation of tenant identification signage on a two-story industrial building, on a 2-acre site, located at 2010 Elkins Way (the "Project Site," located at APN 018-200-020); and

WHEREAS, MSP 19-001 constitutes the "Project;" and a conditional use permit (CUP19-004) was submitted concurrently by the Applicant for the operation of an indoor recreational; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA) Guidelines, the Project qualifies as a Categorical Exemption — Class 1 in accordance with Section 15301 — Existing Facilities, in that the proposed Project is a minor alteration to an existing private structure involving no expansion of use; and

WHEREAS, the City distributed a Notice of Public Hearing to all property owners of record within 300 feet of the project site and published it in the Brentwood Press on May 10, 2019, and posted the site signage in accordance with City policies and Government Code Section 65090; and

WHEREAS, the Planning Commission of the City of Brentwood considered this Project at its regular meeting of May 21, 2019, and considered the staff report, all accompanying information, and testimony received from the applicant and other interested parties; and

WHEREAS, after the close of the public hearing, the Planning Commission considered all public comments received both before and during the public hearing, the presentation by City staff, the staff report and all other pertinent documents regarding the proposed development.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Brentwood:

A. Hereby finds that:

1. *The master sign program is of integrated and harmonious design and designed to be a part of or blend with the existing building.*

The Master Sign Program is integrated and harmoniously designed to be part of the proposed building located within an industrial land use area and blend in with the placement of signs on the lower cornice, above each entry into each tenant space. The proposal includes a combination of building-mounted, freestanding, and window signs that have been determined to be architecturally compatible with the building and consistent with the approved March 13, 2001, Brentwood Commercial & Industrial Design Guidelines by using materials and colors that would complement the buildings architecture.

2. *The program has been prepared and endorsed by a licensed architect or sign designer.*

The Master Sign Program was prepared and endorsed by the licensed architectural firm SDG Architects, Inc.

3. *The signs within the program are compatible with the surrounding area.*

The Master Sign Program as proposed with staff's design recommendations have been determined to be compatible with the surrounding area and encourages an active street frontage along Elkins Way and Sunset Road; because, the signs will be designed in a manner to fit the scale and size of the building with the appropriate number of signs allotted to each tenant within the building. The proposal includes building mounted, freestanding, and window signs that are illuminated and appropriately scaled based on the maximum letter height of 24-inches for wall signs and a building height of two-stories tall, as well as the proposal is also consistent with the Brentwood Commercial & Industrial Design Guidelines.

4. *The program is consistent with the City's Commercial and Industrial Design Guidelines, adopted by the City Council.*

The project, as conditioned, is consistent with the City of Brentwood Commercial & Industrial Design Guidelines because the number of tenant signs will not exceed the maximum allowed pursuant to the design guidelines, letter sizes would be appropriate heights to allow for pedestrian and vehicular traffic, as well as sign illumination will use useful colors that will contrast with the with the background of the building. As conditioned, the proposal includes signage that is appropriately scaled with a maximum letter height of 24-inches for a two-story building, limited to the tenant's name placed on the lower cornice of the business and over the entryway, three-dimensional in design to contrast with the background of the building, and consistent with the Commercial & Industrial Design Guidelines.

- B. Hereby approves Master Sign Program No. 19-001, subject to the conditions of approval listed in Exhibit "A," attached hereto and made a part of this resolution, and all City standards applicable to this project.

This permit shall terminate on May 21, 2020, unless actual construction under valid permits has begun by said date or a written request has been submitted to the City of Brentwood for an extension of time allowed under the Zoning Ordinance.


The above actions are final unless an appeal is filed pursuant to Chapter 17.880 of the Brentwood Municipal Code within ten (10) calendar days following Planning Commission action.

ADOPTED by the Planning Commission of the City of Brentwood at its regular meeting on May, 21, 2019, by the following vote:

AYES: Cross, Fink, Fippin, Hankins
NOES: None
ABSENT: Zeigler

RECUSE: None

APPROVED:



Cyndi Hankins
Planning Commission Vice Chairperson

ATTEST:



Erik Nolthenius
Planning Manager

**EXHIBIT "A" TO
PLANNING COMMISSION RESOLUTION NO. 19-015
MSP 19-001 – MASTER SIGN PROGRAM FOR 2010 ELKINS WAY
SUNSET INDUSTRIAL PARK BUILDING
CONDITIONS OF APPROVAL**

1. The Applicant, including all successors in interest (collectively "Permittee") shall comply with each and every condition set forth in this Permit. Master Sign Program Permit No. 19-001 (MSP 19-001) (the "Permit") shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed.
2. The Permittee shall comply with all applicable Standard Conditions of Approval for Commercial and Industrial Projects, dated May 2005, hereby incorporated by reference, unless modified by any of the conditions below.
3. The project shall be built substantially in conformance with the project plans drawn by SDG Architects, Inc., dated "Received February 27, 2019," unless otherwise amended by the conditions of approval contained herein.
4. All signs shall be designed and installed in substantial compliance with the 2010 Elkins Sunset Industrial Park Master Sign Program guidelines prepared by SDG Architects, Inc., dated "Received February 27, 2019," unless modified by any of the conditions herein.
5. The master sign program booklet shall be revised/updated by the Permittee to reflect all conditions of approval included herein and one hard copy shall be submitted to the Community Development Department for review and approval. Following final review of the revised sign criteria, the Permittee shall also provide an electronic copy of the sign program to the Community Development Department.
6. The freestanding sign shall be illuminated by halo or directional illumination only and not internally illuminated individual channel letters to the satisfaction of the Community Development Director.
7. One anchor tenant signs (A-1) shall only be allowed to be installed on the lower cornice of the building and only above the tenant store front entry door to the satisfaction of the Community Development Director.
8. No tenant signage shall be allowed to be installed on the rear façade of the upper cornice, above the roll-up door.
9. Tenant signage is limited to one wall sign per facade, regardless of square footage.
10. Window signage shall be eliminated from the sign program, and each tenant obtain a banner permit from the city for any promotional signage pursuant to the Brentwood Municipal Code banner permit requirements.

11. "A-frame" signs shall be added to the list of prohibited signs within the Sunset Industrial Park sign program.