



COMMUNITY WORKSHOP  
MARCH 27th, 2024

# CITY OF BRENTWOOD OBJECTIVE DESIGN STANDARDS



# WHY ARE WE HERE?

- To gather **FEEDBACK** from community on the **DIRECTION** we should take in creating Objective Development Standards (ODS) for the City of Brentwood. Topics that will be discussed include:
  - Project Background
  - ODS Content
  - Architectural Styles
  - Next Steps

# WHAT IS THE STATE'S PURPOSE OF OBJECTIVE DESIGN STANDARDS?

- Respond to the State of California's passage of several California State Bills which require ministerial approval of housing development through **OBJECTIVE DESIGN STANDARDS (ODS)**
- Objective design standards refer to **CLEAR** and **MEASURABLE** criteria for developers on certain building elements
- Help **STREAMLINE** housing development & review process
- Increase efficient delivery of new residential units

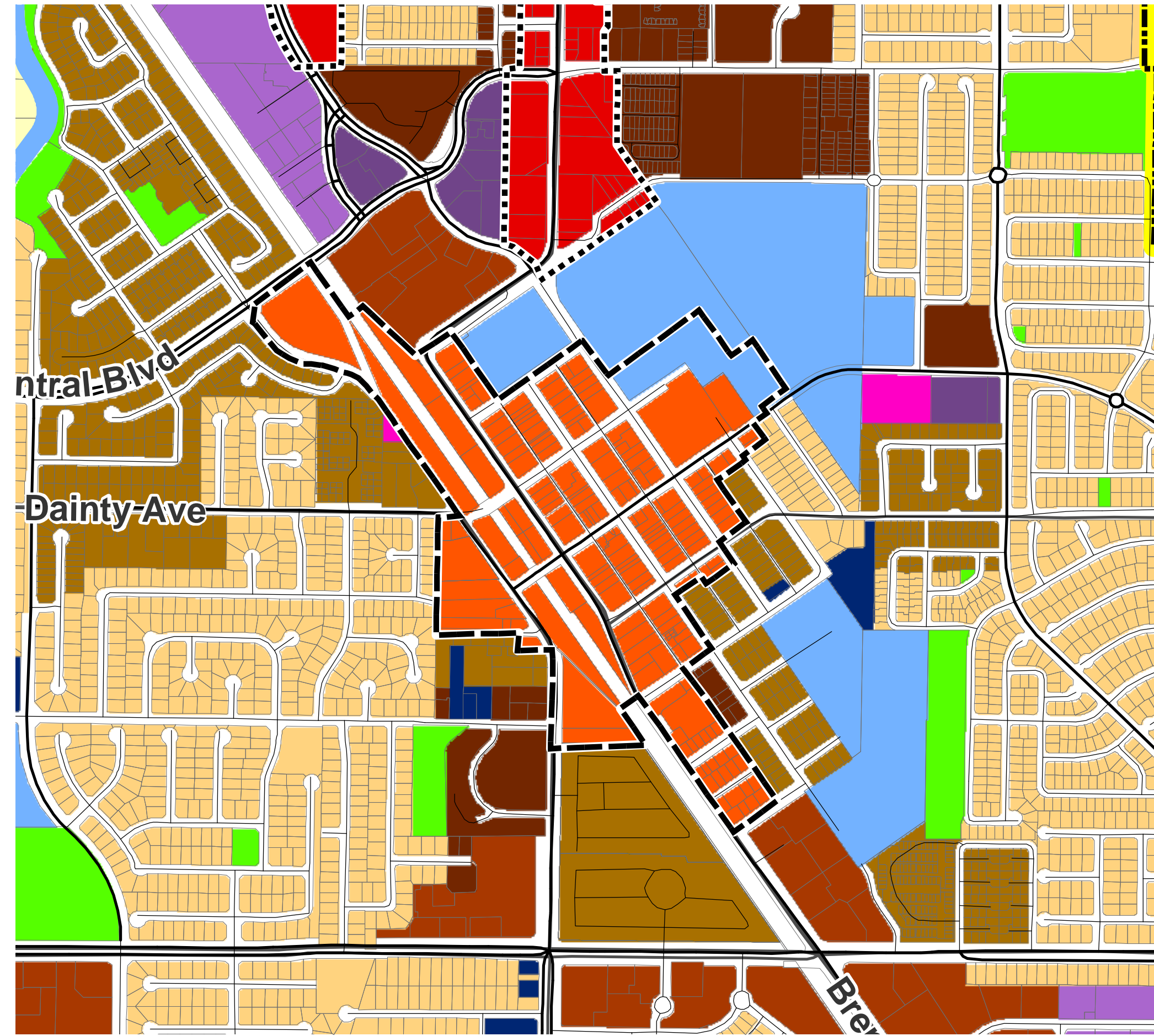
# WHAT ARE THE CITY'S GOALS?

- Provide a **CLEAR SET OF CITY-WIDE REGULATIONS** for multi-family residential development that are understandable by the public, city and development community
- **PRESERVE CHARACTER OF BRENTWOOD** by balancing the form and design of New and Existing
- Create standards that results in buildings that will be **APPROPRIATE TO THEIR CONTEXT AND ENVIRONMENT.**
- Encourage **HUMAN-SCALED BUILDINGS** that adhere to zoning regulations
- Promote **HIGH QUALITY** site and building design.
- Emphasize a **PEDESTRIAN-ORIENTED ENVIRONMENT** where buildings and public realm design are cohesive

# WHAT IS THE IMPACT OF RECENT STATE BILLS?

- **MINISTERIAL APPROVAL** by Objective Design Standards for residential projects:
  - 1) Located in an “**AFFECTED CITIES**” (Brentwood is affected and at the 50% Affordable Level)  
Affected Cities = Cities where housing production has not met RHNA goals (SB35 & SB330)
  - 2) Located on properties zoned for **RETAIL, OFFICE, OR PARKING** as primary use (AB2011 & SB6)
    - \* Projects may need to meet minimum densities, levels of affordability and prevailing wage or skilled labor requirements.

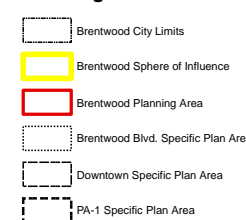
# BUILDING UPON EXISTING LAND USE AND ZONING



### Land Use Designations



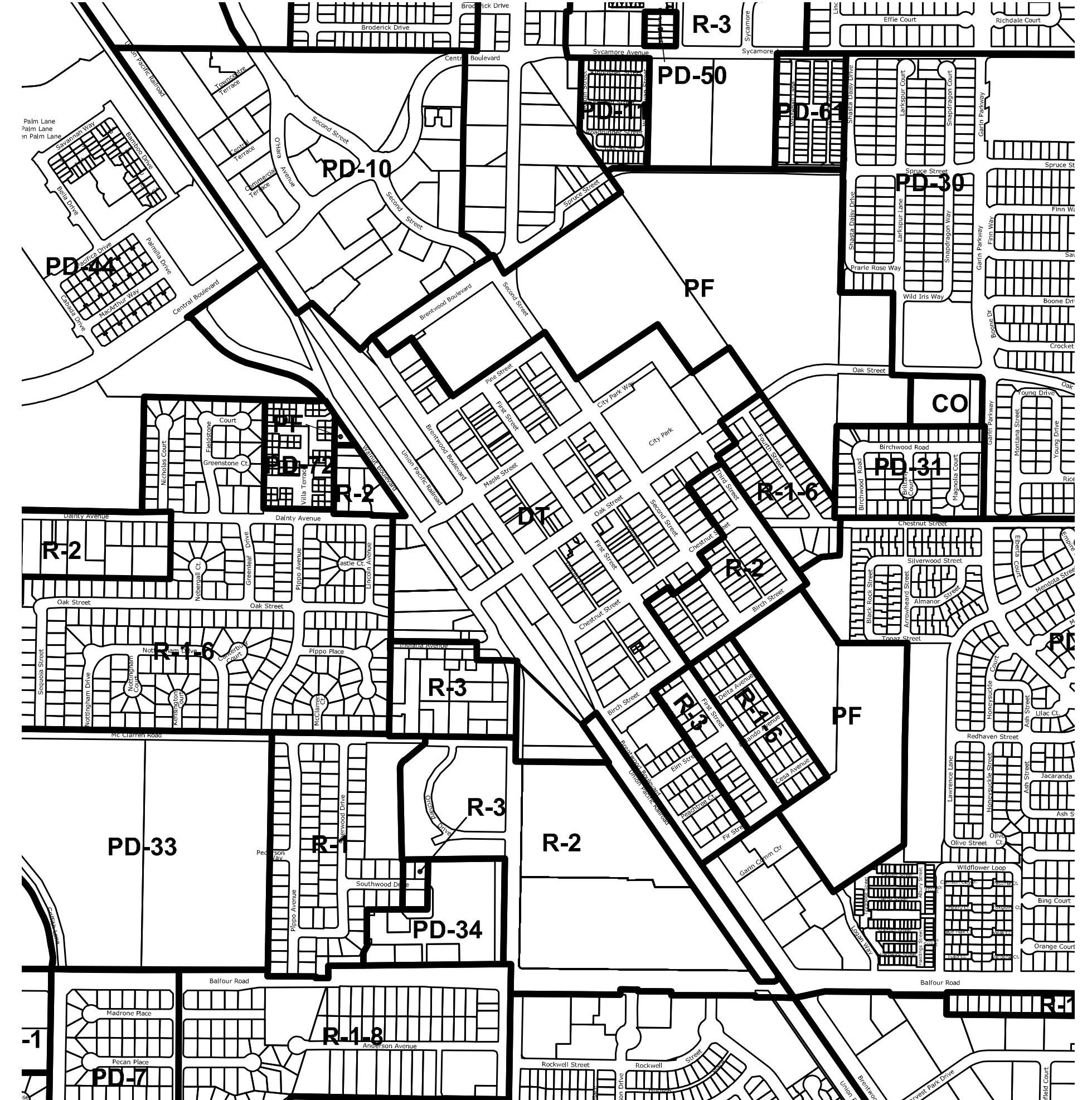
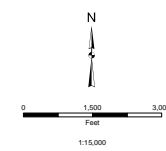
### Planning Areas



### Brentwood General Plan Land Use

Adopted July 22

Amendments	
Date	Resolution #
March 8, 2016	2016 - 26
September 13, 2016	2016 - 125
March 14, 2017	2017 - 33
August 28, 2018	2018 - 114
November 13, 2018	2018 - 158



### ZONING DISTRICTS:

- C-1: NEIGHBORHOOD COMMERCIAL ZONE** permitting retail commercial uses on 5-10 acre lots and supermarkets as anchor tenants.
- C-2: GENERAL COMMERCIAL ZONE** permitting retail uses for the community as a whole.
- C-3: THOROUGHFARE COMMERCIAL ZONE** permitting highway-related uses along major thoroughfares and Highway 4.
- CB: CENTRAL BUSINESS ZONE** permitting retail and service uses within the Downtown Brentwood Core.
- CO: ADMINISTRATIVE PROFESSIONAL COMMERCIAL OFFICE ZONE** permitting Attorneys, Architects, Engineers, Blueprinters and other similar uses.
- COB: COMMERCIAL OFFICE/BUSINESS ZONE** permitting convenience retail uses such as pastry shops, book stores, pharmacies, ice cream stores and other similar uses.
- COR: COMMERCIAL OFFICE/RESIDENTIAL ZONE** permitting uses similar to the CO Zone and residential uses as a conditioned use.
- CR: COMMERCIAL RESIDENTIAL ZONE** permitting Bakeries, Ice Cream Stores, Apparel and Accessory Stores, certain professional businesses, banks and residential uses which are conditionally permitted uses.
- DT: DOWNTOWN ZONE** allowing those mixed-uses specified by the City of Brentwood Downtown Specific Plan.
- IC: INDUSTRIAL/COMMERCIAL ZONE** allows light industry, heavy retail uses and office parks.
- OS: OPEN SPACE ZONE** permitting parks, linear trails, easements and greenways.

- PD: PLANNED DEVELOPMENT ZONE** allows creative designs not associated with straight zoning districts. Density variations are also required.
- PEC: PLANNED EMPLOYMENT CENTER**, a mixed use zone permitting clusters of light industrial, heavy commercial, and office uses within strategic areas within the City. Up to 49% residential may be permitted within the PEC zone.
- PF: PUBLIC FACILITY ZONE** permitting government uses, public schools, and quasi-public uses such as utility offices and rights-of-way.
- RE: RANCHETTE ESTATE ZONE** with minimum lot size of one acre.
- R-1-E: SINGLE FAMILY RESIDENTIAL** with average 1/2 acre lot size and minimum lot size of 14,500 square feet.
- R-1: SINGLE FAMILY RESIDENTIAL:**
  - 10 Minimum lot size of 10,000 square feet.
  - 8 Minimum lot size of 8,000 square feet.
  - 4 Minimum lot size of 6,000 square feet.
- R-2: MODERATE DENSITY MULTI-RESIDENTIAL ZONE** allowing Single Family Lots, Duplex, Triplex, Townhouses, and Apartments with a density of up to 9 dwelling units per acre, densities not exceeding 12 dwelling units per acre may be considered through PD or Conditional use permit procedure.
- R-3: HIGH DENSITY MULTI-RESIDENTIAL ZONE** allowing Condominiums, Townhouses, and Apartments with density of up to 16 dwelling units per acre, density not exceeding 20 dwelling units per acre may be considered through the PD or conditional use permit procedure.
- SPF: SEMI-PUBLIC FACILITY ZONE** permitting those permitted uses in the PF zone and senior housing projects.

# OBJECTIVE DESIGN STANDARDS

# OBJECTIVE DESIGN STANDARDS CONTENTS

Following are section titles that will be covered in the ODS:

## 1. INTRODUCTION

## 2. SITE PLANNING

## 3. SITE DESIGN

## 4. BUILDING DESIGN

## 5. ARCHITECTURAL STYLE

## 6. LANDSCAPE

# CHAPTER 1: INTRODUCTION

## 1.1 Purpose

To have Objective Design Standards in response to new state laws

## 1.2 Organization

Brief explanation of how ODS is structured to properly explain design standards

Consideration of converting text-based code to diagrams, images, and tables

## 1.3 Applicability

By project type (Single Family, Multi-family and Mixed-Use Residential/Commercial combination)

## 1.4 Relationship with Zoning Code & General Plan

## 1.5 Definitions

# CHAPTER 1: SAMPLE CONTENT

## 1.4 USER GUIDE

The Objective Design Standards are for residents, property and business owners, developers and builders, architects and designers, and City staff involved in the review and approval process of multi-family and/or mixed-use development in City of Laguna Hills. The following steps are a quick way to understand the different sections of the document and how to use it.

### Step 1: Review the Site Planning & Site Design Standards.

Site Planning involves a careful analysis of the opportunities and constraints of the site, including existing features such as mature trees, topography, and drainage patterns. The components of site development extend beyond building placement and configuration, including surrounding uses, retaining walls, landscape design, hardscape considerations, and parking. The Site Design Standards outline several requirements on these topics.

### Step 2: Review the General Building Design Standards.

While new projects need not copy existing development, their mass and scale shall respect adjacent building context and uses. The General Building Design Standards establish requirements on these issues. Standards related to garage doors and entries are also established here. These standards apply no matter which style is being utilized for the project design.

### Step 3: Review the Architectural Style Standards.

The design and detailing of buildings are paramount to a quality environment, and the City of Laguna Hills is committed to authentic expressions of architectural style. Architectural design elements and materials shall be consistent throughout the project, recognizing that a building is 3-dimensional and must be well designed on all sides. Detailing, choice of materials, window and door choices shall reinforce the overall project design. To provide guidance on architectural styles, the Standards offer a menu of architectural traditions individual buildings may be designed in.

These styles are as follows:

- Contemporary
- Spanish
- Mediterranean
- Ranch

Within each style description, various elements related to roof forms, windows, decorative details, and other topics are enumerated. The Architectural Style Standards require certain elements, while other elements may be selected from a menu of options.

### Step 4: Review the Mixed-Use Development Standards, if applicable.

For developments that incorporate a commercial component in addition to residential housing, Mixed-Use Development Standards, located at the end of each chapter of architectural style, provide direction on design of storefronts, type of decorative accents, and other relevant topics. Mixed-use proposals shall



# CHAPTER 2: SITE PLANNING

To ensure walkability, connectivity, and appropriately scaled buildings by creating pedestrian-scaled blocks with streets, paths, and open spaces for people to gather and connect throughout the city.

## 2.1 Project

## 2.2 Edge Conditions

## 2.3 Block Size & Structure

## 2.4 Mid-Block Connections

## 2.5 Lots

## 2.4 Public Open Space

## 2.5 Infrastructure/Services/Utilities

# CHAPTER 2: SAMPLE CONTENT

## 2.3.1 MAXIMUM BLOCK SIZE

1. All projects shall meet a maximum Block Length and a maximum Perimeter Length per the following table:

BLOCK SIZE	
	MAX. (FT.)
LENGTH	400
PERIMETER	1400

2. Existing, new, or assembled parcels or blocks with a Block Length greater than 400' shall provide at least one Mid-Block Connection that connects from one public right-of-way to another public right-of-way or public access easement.
3. Mid-Block Connections may be one of the following:
  - a. Public Street
  - b. Paseo/Pedestrian Path
  - c. Shared-Street
  - d. Private Street
4. Mid-Block Connections shall include Public Access Easements for all pedestrian pathways and vehicle lanes (if provided).

## 2.3.2 MID-BLOCK CONNECTIONS

1. Mid-block Connections shall be either a Paseo/Pedestrian Path, Shared Street/, or Private Street and shall meet the standards below.
2. Mid-block Connections shall include public access easements and shall be privately maintained.
3. Public access easements shall cover all property between back-of-walk and all drive aisles.
4. Mid-block Connections shall meet all stormwater management and C.3 requirements.

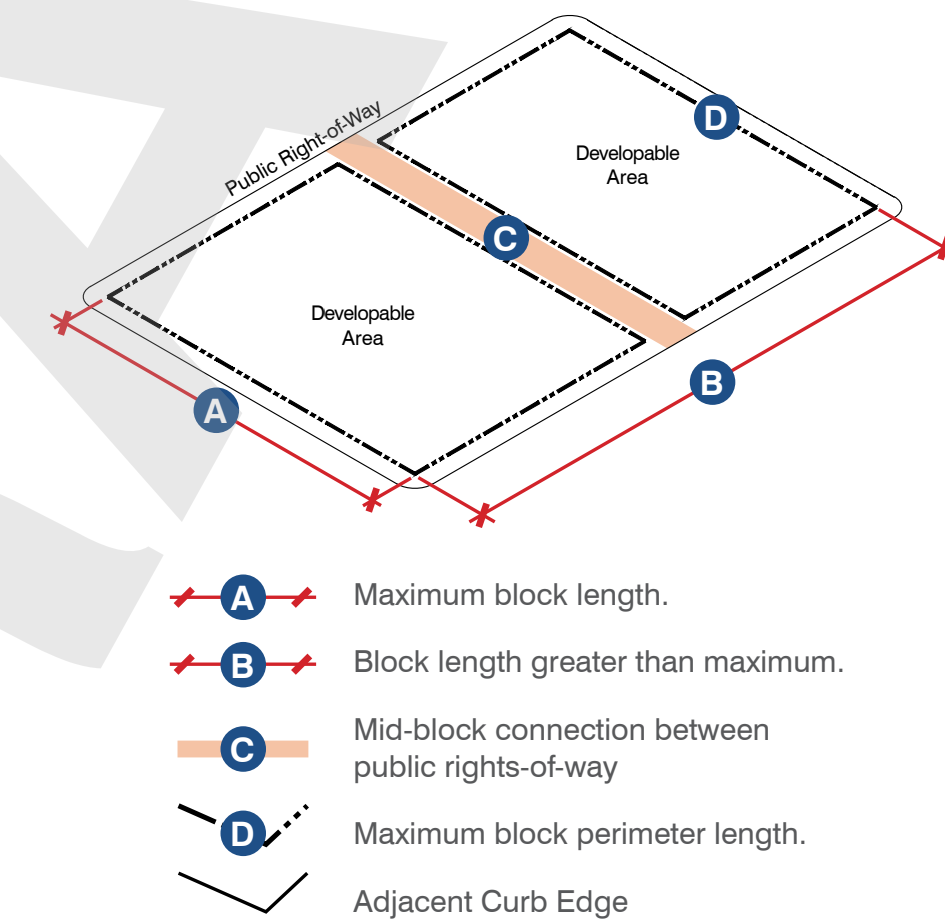


FIGURE: MID-BLOCK CONNECTION

# CHAPTER 3: SITE DESIGN

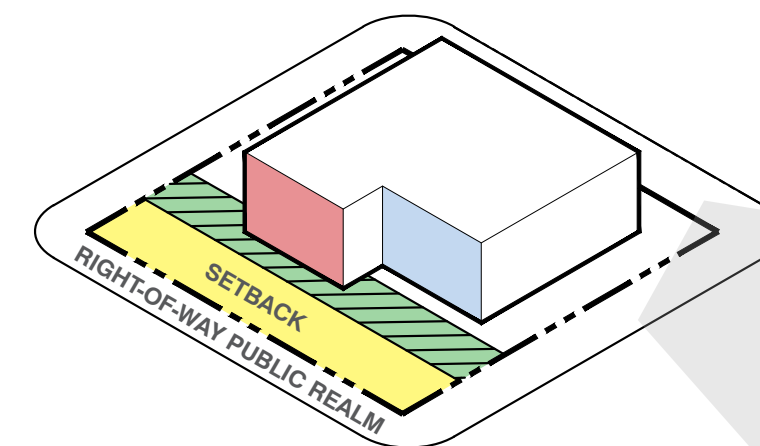
To ensure quality design and site layouts that increase pedestrian comfort and safety, increase pedestrian and occupant activity, encourage visual connections between inside and outside spaces, and add to the interest and character of the place.

- 3.1 Building Location
- 3.2 Allowable Projections
- 3.3 Building Orientation
- 3.4 Ground Floor Uses
- 3.5 Utilities, Service Areas & Building Equipment
- 3.6 Common & Private Open Space
- 3.7 Vehicular Access & Parking
- 3.8 Bicycle Circulation & Parking
- 3.9 Pedestrian Access & Circulation
- 3.10 Site Lighting
- 3.11 Sidewalk Design/Pedestrian Walkways
- 3.12 Standards for Special Conditions & Adjacencies
- 3.13 Slope Standards

## CHAPTER 3: SAMPLE CONTENT

### 3.4.1 BUILD-TO ZONE

Buildings shall occupy a minimum percentage of the Build-to-Zone. The Build-to-Zone is defined as a specific distance beyond the building setback from the front property line excluding areas for Mid-block Connections, Primary Connections, Secondary Connections, or Publicly Accessible Open Space.



- Build-to zone
- Front setback
- Minimum % of building frontage within the build-to zone
- Building frontage outside of the build-to zone

FIGURE: BUILD-TO ZONE DIAGRAM

### BUILD-TO ZONE

	HDR	HDR50	HDR50+
<b>BUILD-TO ZONE DEPTH (FT.)</b>	20	10	10
<b>BUILDING % MIN. WITHIN BUILD-TO ZONE</b>	50	50	70

<sup>1</sup>Measured from the front property line.

### 3.4.2 PEDESTRIAN CONNECTIONS

1. Primary entries to buildings or units shall be connected to a public sidewalk or publicly accessible pathway with a pedestrian pathway with the following minimum width dimensions:

#### PEDESTRIAN CONNECTIONS

	MIN. WIDTH (FT.)
<b>SINGLE FAMILY HOME/SINGLE RESIDENTIAL UNIT</b>	4'
<b>ENTRANCES SERVING 2 UNITS</b>	4'
<b>ENTRANCES SERVING 3-8 UNITS</b>	5'
<b>ENTRANCES SERVING 9-20 UNITS</b>	6'
<b>ENTRANCES SERVING &gt;20 UNITS</b>	8'

2. Every multi-family dwelling's main building entry and common exterior spaces shall provide a pedestrian pathway/connection to the following areas:
  - a. To the public sidewalk in the right-of-way on each street frontage.
  - b. Between a building entry and the parking area for the units served by it.
  - c. To any common usable open space or recreational facilities on site or to any public park facilities located on an adjacent lot.
  - d. To a public multi-use pathway or trail abutting the project.
  - e. Between adjoining residential and commercial projects.

# CHAPTER 4: BUILDING DESIGN

To mediate the scale, massing, and bulk of buildings to reflect a human scale and enhance the pedestrian experience through building modulation and reductions in mass of upper floors.

## 4.1 Massing

## 4.2 Neighborhood Transition

## 4.3 Articulation

## 4.4 Facade Design

## 4.5 Frontage

## 4.6 End Units

## 4.7 Entries

## 4.8 Parking & Access

## 4.9 Garages

## 4.10 Open Space Quality

## CHAPTER 4: SAMPLE CONTENT

- d. Where two or more roof forms are organized in a hierarchy, each is counted as an individual roof form. For example, the dominant roof form may be a hipped roof, which has two dormers with open gable roofs, which would count as three roof forms. Another example is a flat roof on a building that has two bay windows with flat roofs, each at least 36 ft<sup>2</sup> in area.
- e. For flat roofs and flat roofs with decorative parapets, changes in roofline must be accompanied by a minimum 2' change in height relative to the adjacent roof form. For buildings that are three stories or taller, the minimum change in height shall be 3'. This change in height shall be measured to the top of the parapet, where present. Changes in roof form shall not exceed allowed building heights, as defined by the underlying zone district.

THREE HIERARCHICAL ROOF FORMS

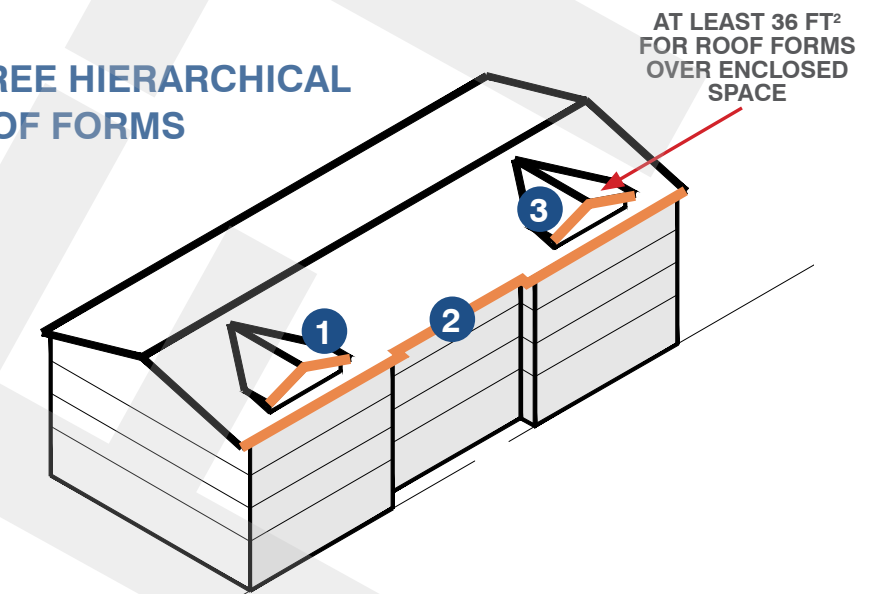


FIGURE: ROOF FORMS COMBINATIONS & QUANTITIES DIAGRAM 2

FOUR HIERARCHICAL ROOF FORMS

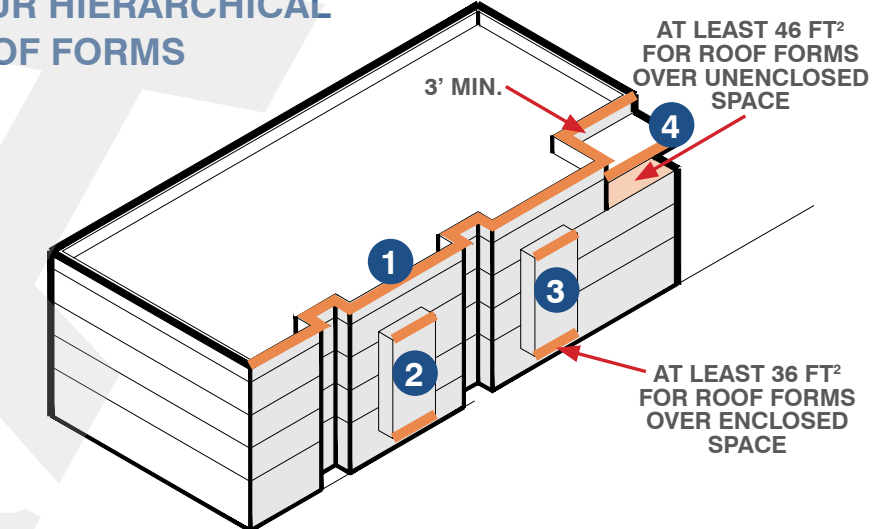


FIGURE: ROOF FORMS COMBINATIONS & QUANTITIES DIAGRAM 3

THREE INTERSECTING ROOF FORMS

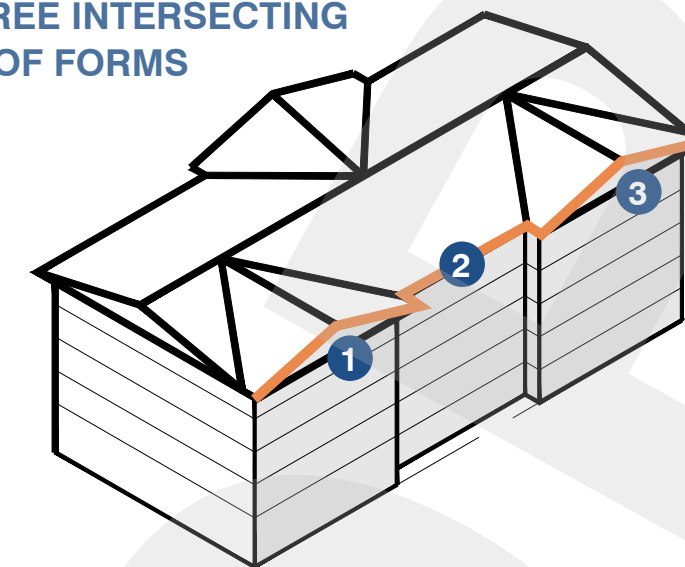
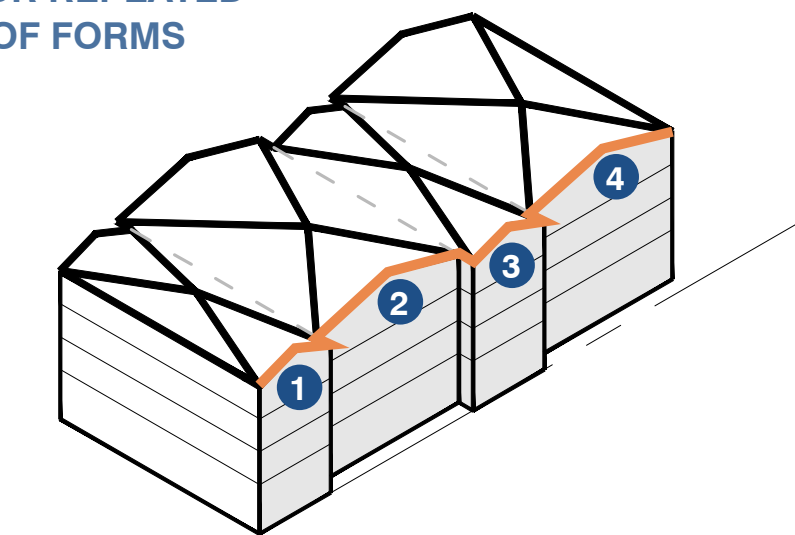


FIGURE: ROOF FORMS COMBINATIONS & QUANTITIES DIAGRAM 1

FOUR REPEATED ROOF FORMS



# CHAPTER 5: ARCHITECTURE STYLES

Defines the allowed architectural styles and provides design standards for each

## 5.1 Overview and Applications

## 5.2 Contemporary

## 5.3 Spanish

## 5.4 Mediterranean

## 5.5 Craftsman

## 5.6 Ranch

## 5.7 Colonial

## 5.8 Italianate

## 5.9 Queen Anne

### Sub Categories

#### 5.X.1 Architectural Features

#### 5.X.2 Roof & Window Forms

#### 5.X.3 Ground Floor Design

#### 5.X.4 Residential Unit Entry Types

#### 5.X.5 Fenestration Design

#### 5.X.6 Materiality & Color

## CHAPTER 5: SAMPLE CONTENT

### 5.3.2 ROOFS

#### REQUIRED ELEMENTS

- Low pitched roof at 4:12 to 5:12 slope
- Red, fired, clay tile roofs. Common shapes include both Spanish (S-shaped) and Mission (half cylinder) types
- Overhanging eaves (minimum 24" on elevation that face a public street) with exposed rafter tails or beams
- Small 1'-0" or less decorative exposed rafter tails
- Clay or terracotta tile roofing as dominant roofing material
- Simple hip or gable roof with one intersecting gable roof

#### OPTIONAL ELEMENTS (CHOOSE AT LEAST 2)

- Shed roof over porch
- Gabled and shed roofs, gabled roofs are on the side and front facing
- Shaped parapet with coping
- Brackets or knee braces at gabled ends
- Hipped-roof towers or belvederes (square, rectangle or circular in plan)



# CHAPTER 5 SAMPLE: ARCHITECTURAL STYLES - SPANISH

## 5.3 SPANISH

### STYLE DESCRIPTION

The Spanish architectural style that is prominent in Laguna Hills is typified by the City Hall Building, Spanish revival (also referred to as Spanish eclectic) was inspired by the architecture of Spain and Latin America, emphasizing their rich stylistic details. Due to the early influence of New Spain in the Southwest and Southeast, the style is rare outside the Southwest, Texas and Florida.

It is a simple yet delicately ornate architectural style that features decorative elements like handpainted tiles, wrought iron railings and window treatments and clay tile vents. Recognizable massing characteristics for

this style include multi-leveled low-pitched roofs (with little or no eave overhang) which create a beautiful overall building asymmetry, the incorporation of open air internal courtyards which act as outdoor living space and building face modulation with tower elements.

Two notable exterior elements of Spanish style architecture are are colored clay tile roofs and clean white stucco. The clay roofing tiles give the house a rustic feeling and a bit of warmth. The stucco exterior surface, usually monotone in white, ivory or beige is a hand-applied mix of cement, water and sand that is later covered with paint. It results in a beautiful, aged-looking Old-World surface.

### 5.3.1 ARCHITECTURAL FEATURES



### ADDITIONAL EXAMPLES OF THE STYLE



# CHAPTER 5 SAMPLE: ARCHITECTURAL STYLES - SPANISH

## DRAFT

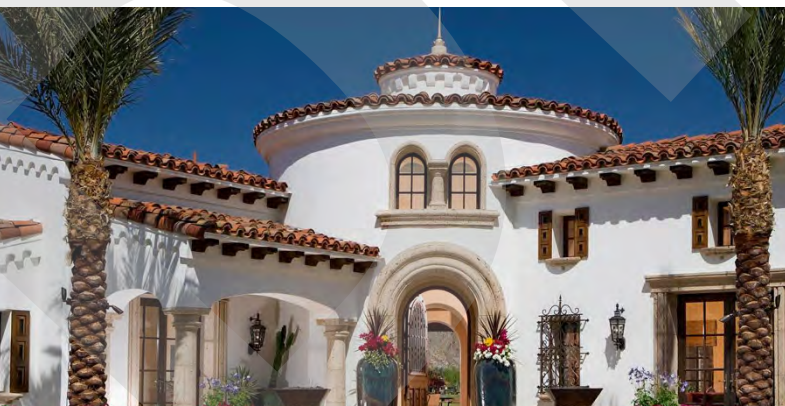
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### 5.3.3 WALLS & WINDOWS

#### REQUIRED ELEMENTS

- Smooth stucco walls or plaster siding
- Arched openings at windows, entries and arcades
- Multi-paned windows
- Simple divisions of window mullions
- Deep recessed windows



# CHAPTER 5 SAMPLE: ARCHITECTURAL STYLES - SPANISH

## 5.3.4 MATERIALS & COLORS

### REQUIRED ELEMENTS

- Light, natural, neutral color for the exterior stucco, such as white, ivory, cream, or beige.
- Wood elements such as rafter tails shall be painted darker and/or contrasting color that also compliments the reddish-orange of the clay tiles, such as dark brown, brown, or a natural dark stain with protective finish.

### OPTIONAL ELEMENTS

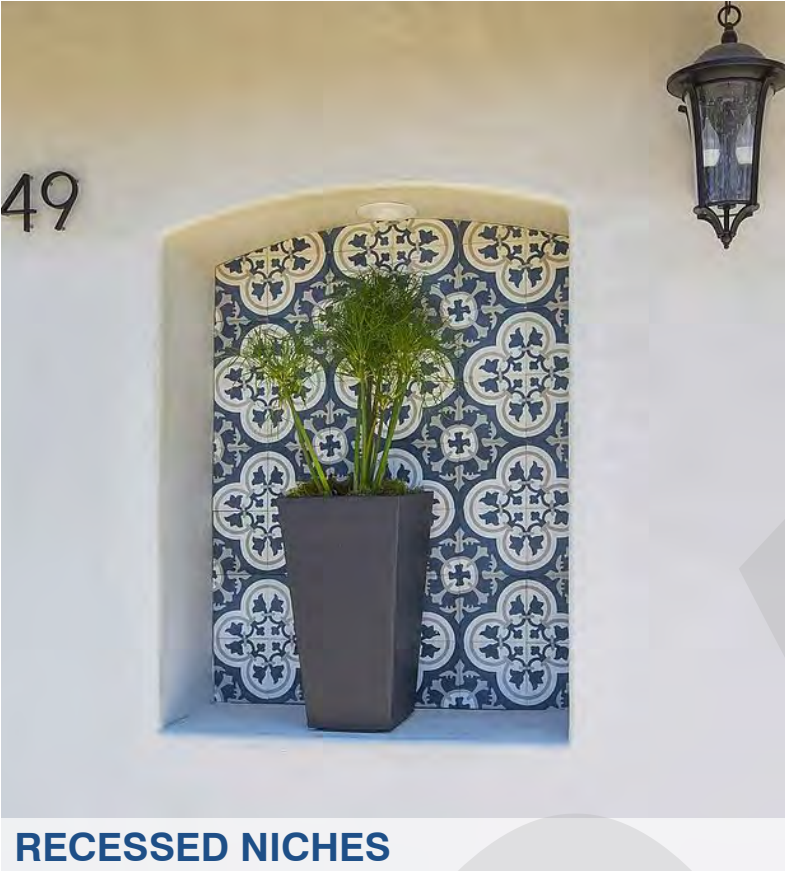
- Decorative Tile



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# CHAPTER 5 SAMPLE: ARCHITECTURAL STYLES - SPANISH

## 5.3.5 DECORATIVE ACCENTS & DETAILS (CHOOSE AT LEAST 6)





# CHAPTER 6: LANDSCAPE

To create well designed common and private open spaces that serve multiple purposes, encourages gathering, improves the health and wellness of residents, and embraces nature in our built environment.

## 6.1 Landscape Materials & Vegetation

## 6.2 Irrigation

## 6.3 Hardscape

## 6.4 Walls & Fencing

## 6.5 Landscape Lighting

## 6.6 Site Furnishings

## 6.7 Monumentation

# CHAPTER 6: SAMPLE CONTENT

## 6.1.5 PRIVACY

Landscape screening shall obscure direct sight lines into dwelling units and restricted open space areas from communal areas such as parking areas, common mailboxes, and pedestrian walkways. Landscape screening may be used in combination with walls, fencing, and/or trellises to screen views.

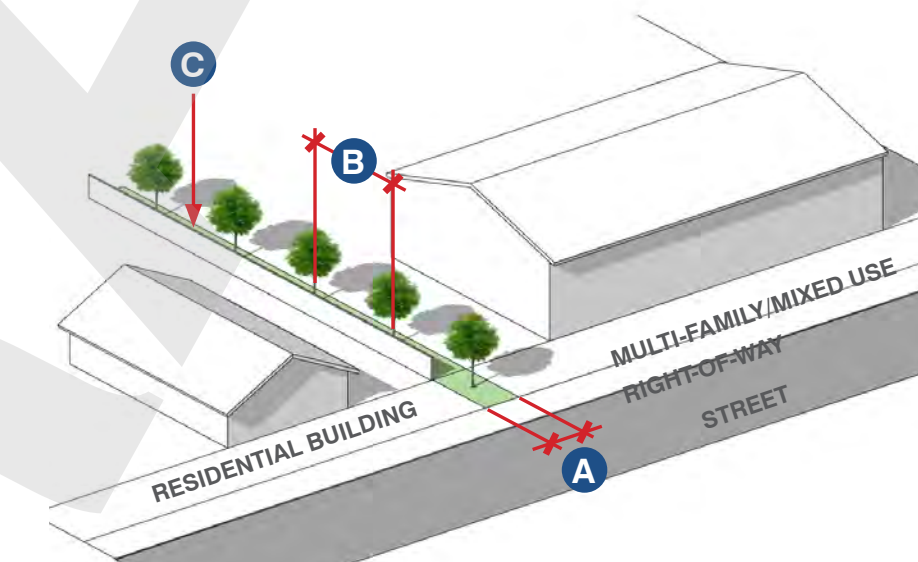
1. Landscape screening shall fit within associated planting areas and canopy sizes must not overlap with building foundations or eaves.
2. Landscape screening shall use evergreen trees, shrubs, and/or vines located and sized to buffer views. Deciduous species, perennials, and grasses or grass-like plants are not permitted for privacy screening.
3. Landscape screening and vegetation shall use the following minimum container sizes at time of planting:

### SCREENING LANDSCAPE PLANT SIZES

	SIZE (MIN.)
TREES	24" box.
SHRUBS	5 gal.
VINES	5 gal.

## 6.1.6 RESIDENTIAL BUFFERING

1. Buildings with residential ground-floor uses shall have a minimum 1 tree per building frontage width divided by 20'. Trees located in the adjacent right-of-way may count toward this minimum. Private entrance drive/street frontages are excluded. Trees may be staggered or in an allée configuration to comply with standard.
2. A minimum 10' wide landscape buffer shall be provided along the full length of the shared property line between multi-family or Residential Mixed-Use development and abutting residential properties. A solid masonry wall with a 6' height, except within a street-facing setback where walls are not permitted.

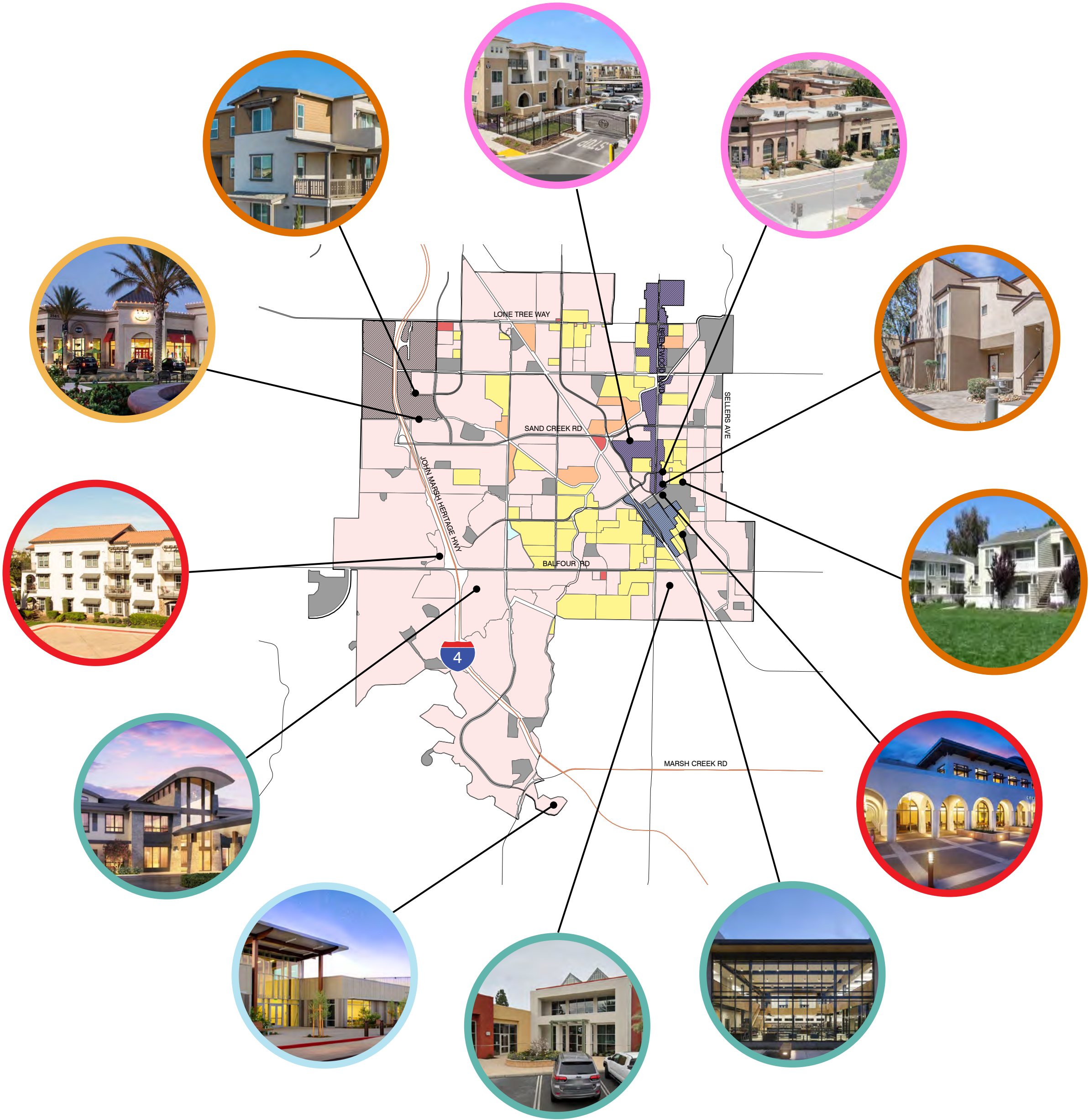


- A** Min. 10' wide landscape buffer
- B** Trees planted at a rate of at least one tree per 30 linear feet along the shared property line
- C** Solid masonry 6' privacy wall except in front setback, where 48" walls are permitted.
- Street-facing setback

FIGURE: RESIDENTIAL BUFFERING DIAGRAM

# EXISTING ARCHITECTURAL STYLES

LEGEND	
	CONTEMPORARY
	SPANISH
	MEDITERRANEAN
	TRANSITIONAL/CRAFTSMAN



# EXISTING ARCHITECTURAL STYLES ANALYSIS

## Spanish



- Low pitched gable roof
- Wrought iron railing
- Arched entries

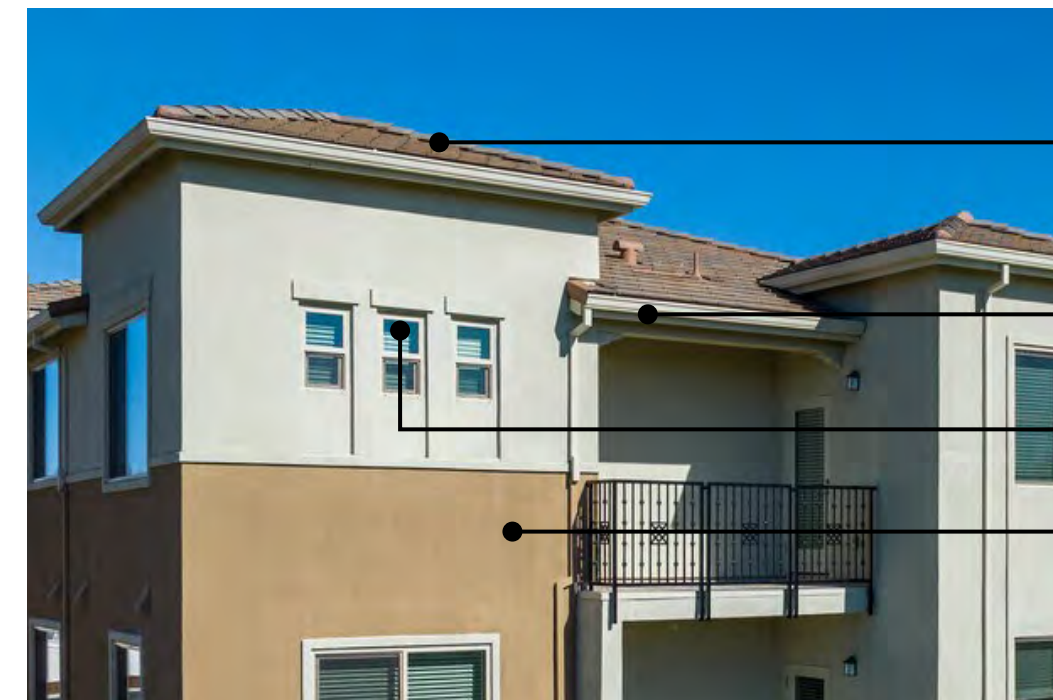


- Window shutters
- Red clay tile roofs
- Wrought iron railing



- Tower massing element
- White/beige stucco wall finish
- Recessed entrances

## Mediterranean



- Red clay tiles
- Overhang eaves
- Vertically-oriented recessed windows
- Various colors of stucco exterior



- Arched openings
- Recessed entry
- Flat stucco walls



- Symmetrical facades

# EXISTING ARCHITECTURAL STYLES ANALYSIS

## Contemporary



Exposed/Protruding Beams/Rafters

Large Windows

Thick Framing Edge Elements



Angled Roof

Metal Awning



Varied Roof Heights & Vertical Elements

Multi-Color & Multi-Materiality Exterior Surfaces (Stone, Stucco, Metal, Wood)

## Craftsman



Knee brace

Low Angle Roof Pitches  
Extended lintels

Second-story balcony

Commercial Frontage  
Large Format Glazing



Exposed rafter tails

Wood shingles

Stone Base Treatment



Ornamental Grilles

Continuous molding emphasizes  
horizontality

Window box

Stone pier

# ARCHITECTURAL STYLES AT DENSITY

## CONTEMPORARY

**SFD Zone**  
RE | R-1-E | R-1  
(1-7 du/ac)

**MDR Zone**  
R-2  
(9/12 du/ac)



## SPANISH



## MEDITERRANEAN



## CRAFTSMAN



# ARCHITECTURAL STYLES AT DENSITY

**RANCH**

**COLONIAL**

**ITALIANATE**

**QUEEN ANNE**

**SFD Zone**  
RE | R-1-E | R-1  
(1-7 du/ac)

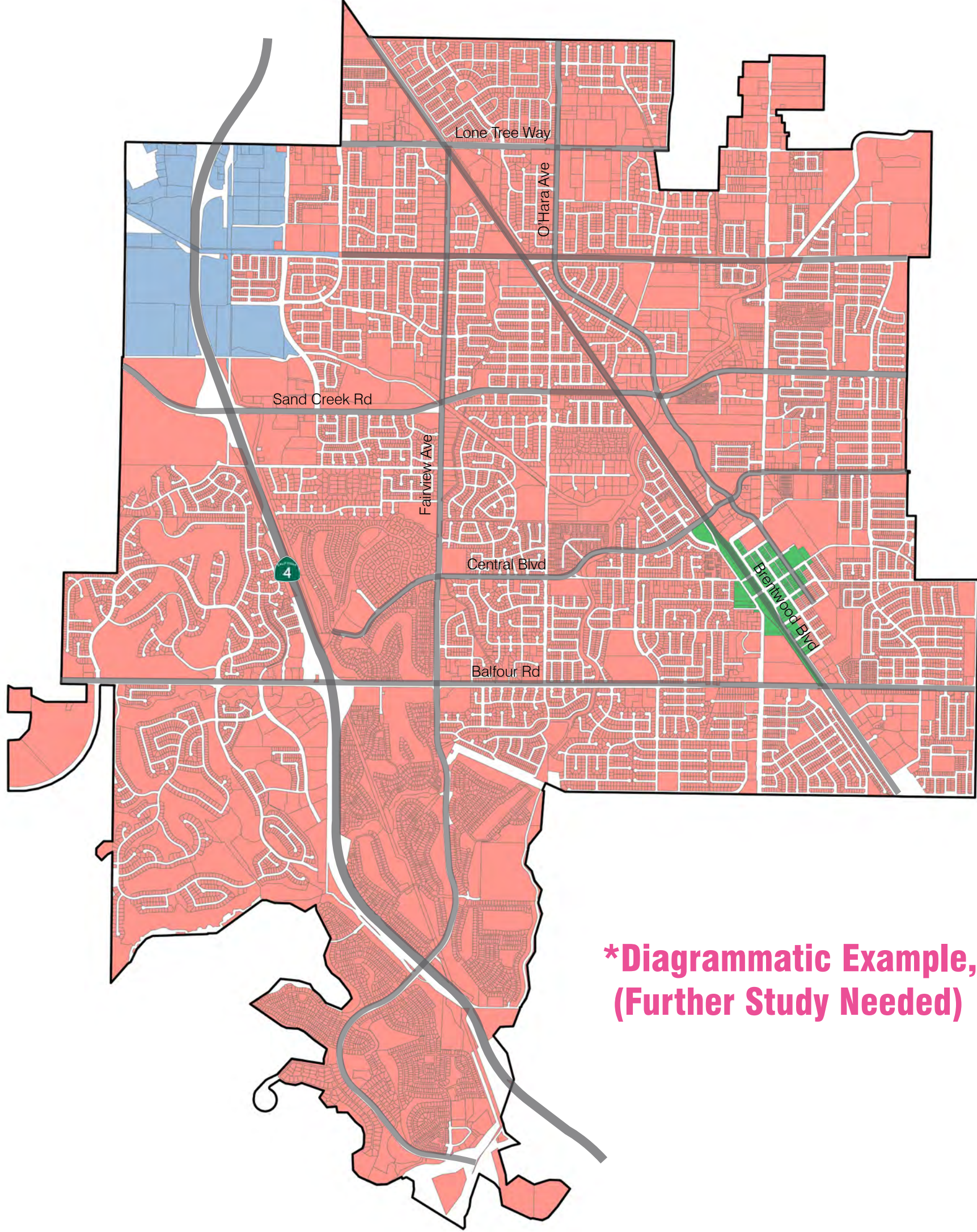
**MDR Zone**  
R-2  
(9/12 du/ac)

**HDR Zone**  
R-3  
(16/20 du/ac)

**VHDR Zone**  
(30+ du/ac)



# PROPOSED ARCHITECTURE STYLES MAP - BY PLACE



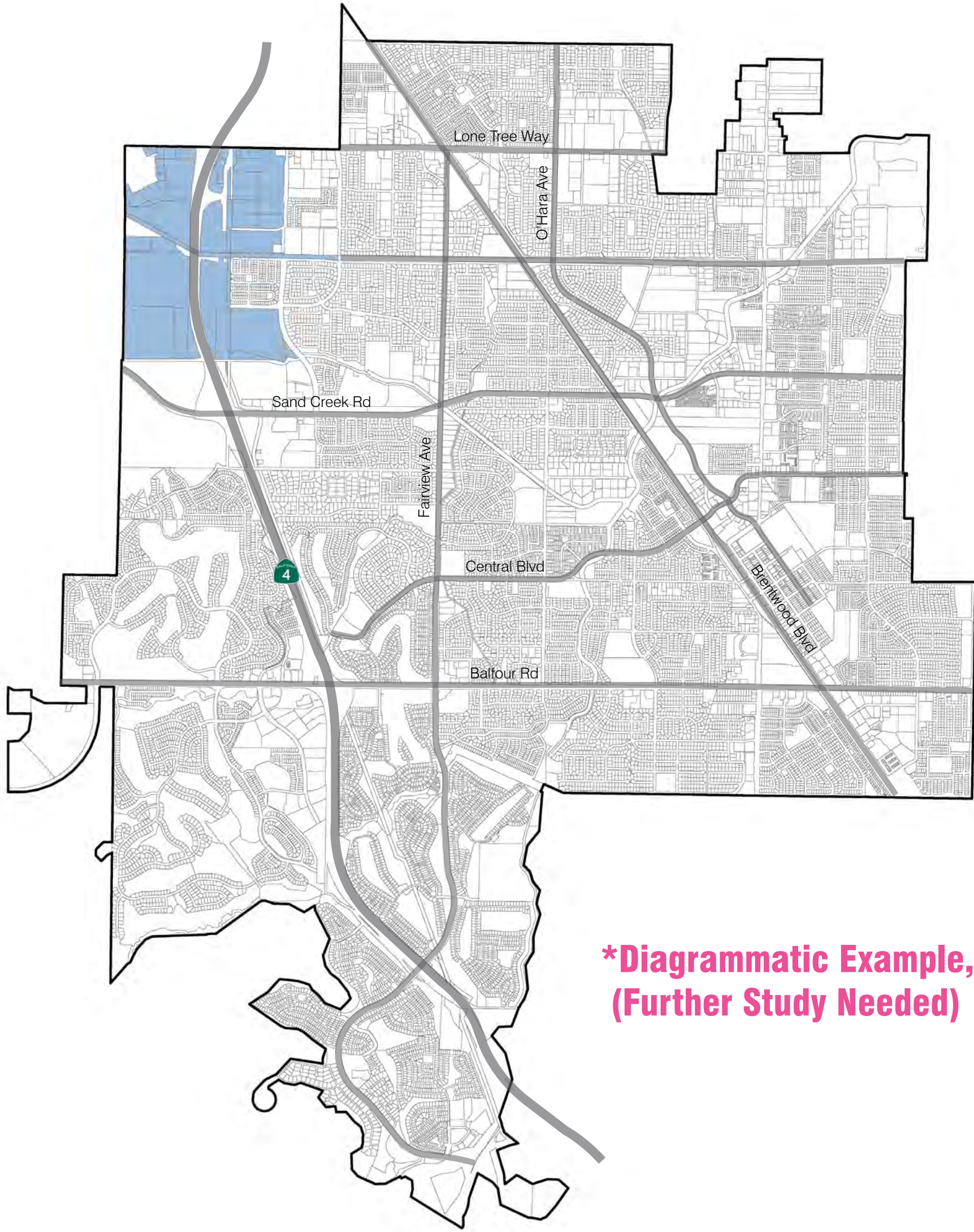
To create three distinct style zones, each zone may have the option to build with select styles.

- 1st zone has a specific planned area with specified style
- 2nd zone is the downtown area which shall continue prevailing eclectic styles
- 3rd zone contains the majority of the city and builds off the prevailing residential character

### LEGEND

PA1	(PA-1 RESIDENTIAL) CONTEMPORARY
DOWNTOWN	SPANISH   CRAFTSMAN   QUEEN ANNE   COLONIAL   ITALIANATE
CITYWIDE	SPANISH   MEDITERRANEAN   CRAFTSMAN   CONTEMPORARY

# PROPOSED ARCHITECTURE STYLES MAP - PA1



**\*Diagrammatic Example,  
(Further Study Needed)**

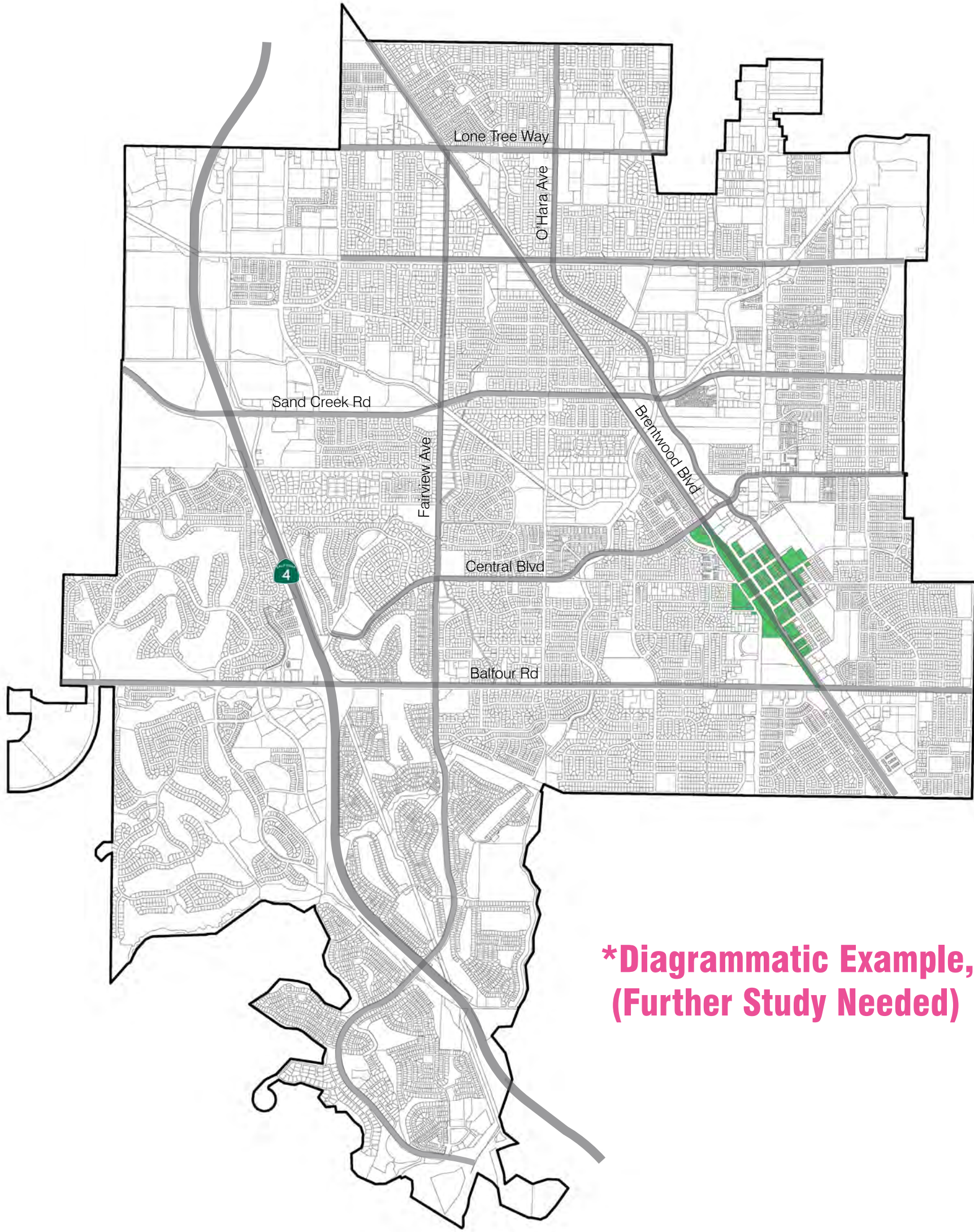


## **Contemporary**

*\*Architectural style has already been adopted and established based on the specific plan*



# PROPOSED ARCHITECTURE STYLES MAP - DOWNTOWN



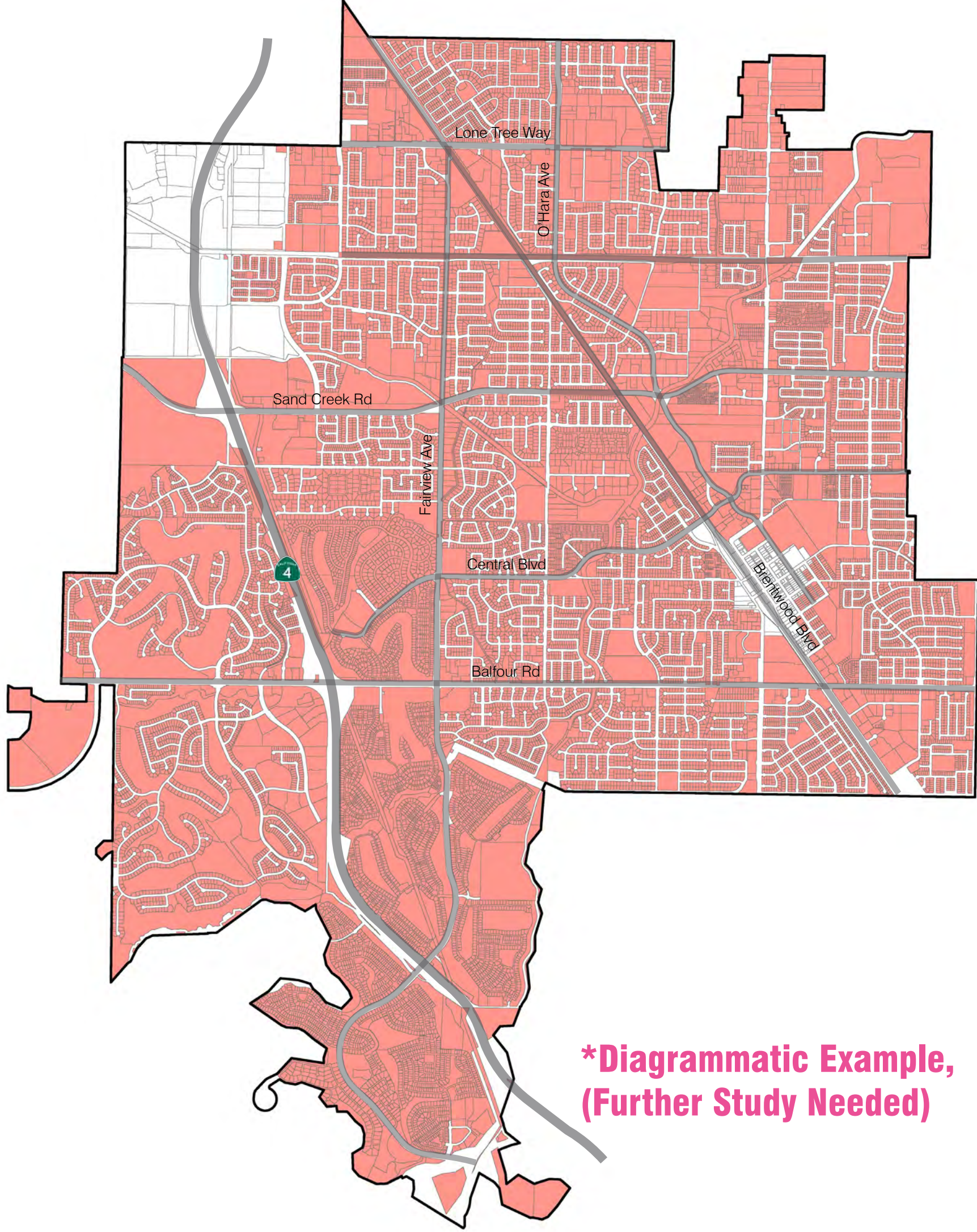
**\*Diagrammatic Example,  
(Further Study Needed)**



- Spanish**
- Craftsman**
- Queen Anne**
- Colonial**
- Italianate**

*\*Architectural styles are for reference only, based on prevailing buildings and downtown specific plan. Styles shall suit residential or mixed-use developments*

# PROPOSED ARCHITECTURE STYLES MAP - Citywide



- Spanish
- Mediterranean
- Craftsman
- Contemporary

## NEXT STEPS

- **VOICE YOUR THOUGHTS** - Group Discussion
- ODS **DEVELOPMENT** based on initial City Council and Community **FEEDBACK**
- Land Use and Development Committee
- Planning Commission
- **CITY COUNCIL FINAL CONSIDERATION**



Please email any additional comments or questions to:

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**THANK YOU**

